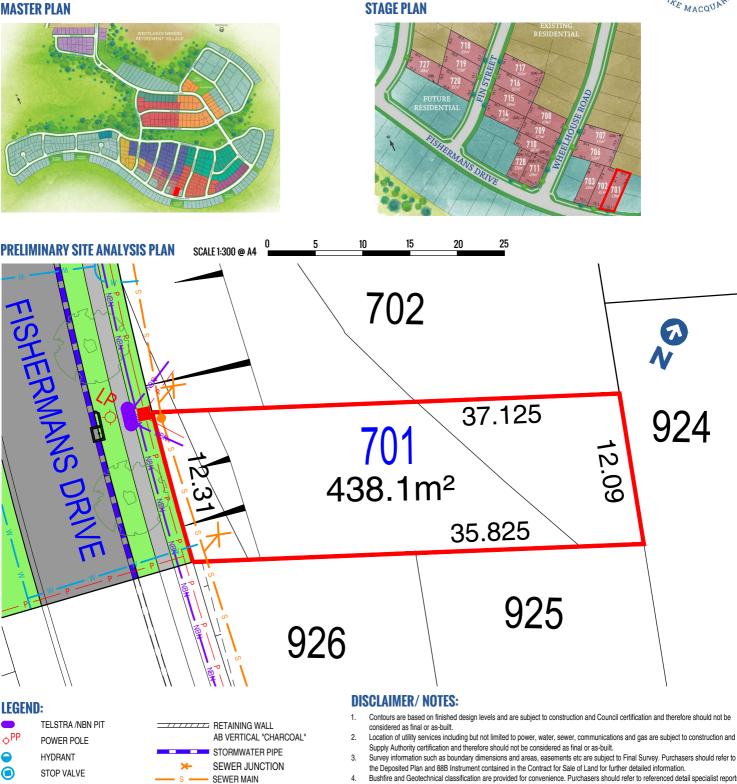
LOT 701, FISHERMANS DRIVE, TERALBA





(DA) EASEMENT TO DRAIN WATER 2 WIDE (DB) RESTRICTION ON THE USE OF LAND 0.7 WIDE

RESTRICTIONS ON USE OF LAND AFFECT THE LOT

- Bushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports.
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 - This document does not form part of the Contract of Sale of the Land.

REVISION/S:	HD16 STAGE 7 MARKETING r1
DATE:	23rd October 2017
BY:	HIGH DEFINITION DESIGN PTY LTD





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WATER MAIN

TELSTRA /NBN

P ----- UNDER GROUND POWER

OHP ---- OVERHEAD POWER

Anticipated Site Classification - M Class

(to be confirmed at completion of construction)

SEWER MANHOLE

LIGHT POLE

KERB INLET PIT

STREET TREES

STORMWATER PIT

ELECTRICITY PILLAR

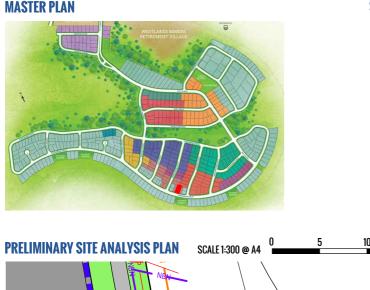
ELECTRICAL SUBSTATION

ۍLΡ

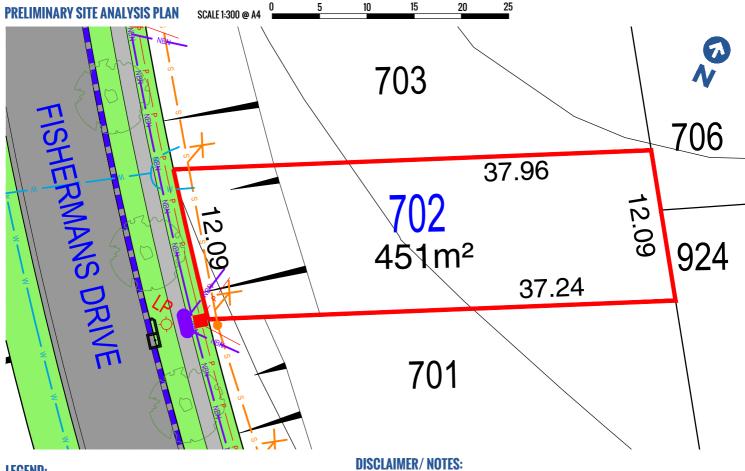
 $\mathbf{\Box}$

LOT 702, FISHERMANS DRIVE, TERALBA









LEGEND:

	TELSTRA /NBN PIT	BETAINING WALL	1.	Contours are based on finished considered as final or as-built.
-⇔ ^{PP}	POWER POLE	AB VERTICAL "CHARCOAL"	2.	Location of utility services includ
•	HYDRANT	SEWER JUNCTION	3.	Supply Authority certification and Survey information such as bour the Deposited Plan and 88B Inst
	STOP VALVE	s — SEWER MAIN	4.	Bushfire and Geotechnical class
	SEWER MANHOLE	W WATER MAIN	5.	This Preliminary Site Analysis Pl assist Purchasers in obtaining qu
ф ^{LP}	LIGHT POLE	NBN TELSTRA /NBN	6.	This document does not form pa
G	KERB INLET PIT	OVERHEAD POWER		
	STORMWATER PIT	P UNDER GROUND POWER		
•	ELECTRICITY PILLAR	Anticipated Site Classification - M Class (to be confirmed at completion of construction)		
	ELECTRICAL SUBSTATION	(DA) EASEMENT	TO DRA	IN WATER 2 WIDE
E .	STREET TREES			THE USE OF LAND 0.7 WIDE OF LAND AFFECT THE LOT

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REVISION/S: HD16 STAGE 7 MARKETING r1

DATE:	23rd October 2017
BY:	HIGH DEFINITION DESIGN PTY LTD

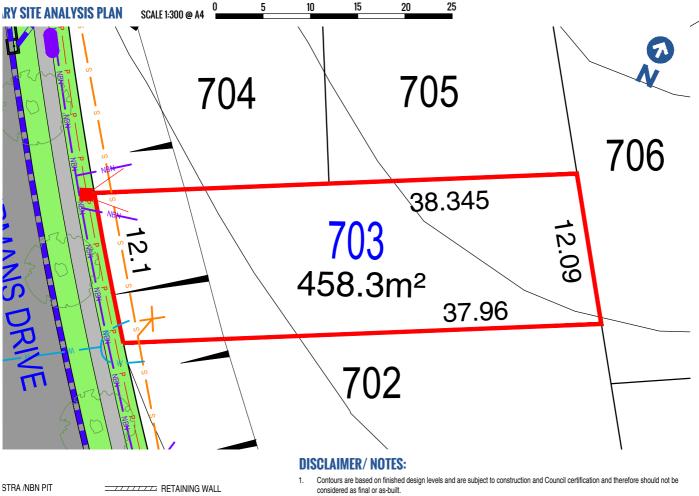


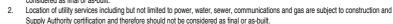
703, FISHERMANS DRIVE, TERALBA











- Survey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to 3. the Deposited Plan and 88B Instrument contained in the Contract for Sale of Land for further detailed information.
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B INLET PIT	OVERHEAD POWER		
RMWATER PIT	P UNDER GROUND POWER	REVISION/S :	HD16 STAGE 7 MARKETING r1
CTRICITY PILLAR	Anticipated Site Classification - M Class		
OTHIOITTTLEAN	(to be confirmed at completion of construction)	DATE:	23rd October 2017
CTRICAL SUBSTATION	(DA) EASEMENT TO DRAIN WATER 2 WIDE		
EET TREES	(DB) RESTRICTION ON THE USE OF LAND 0.7 WIDE	BY:	HIGH DEFINITION DESIGN PTY LTD
	RESTRICTIONS ON USE OF LAND AFFECT THE LOT		

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w.

VER POLE

P VALVE

IT POLE

VER MANHOLE

RANT

AB VERTICAL "CHARCOAL"

STORMWATER PIPE

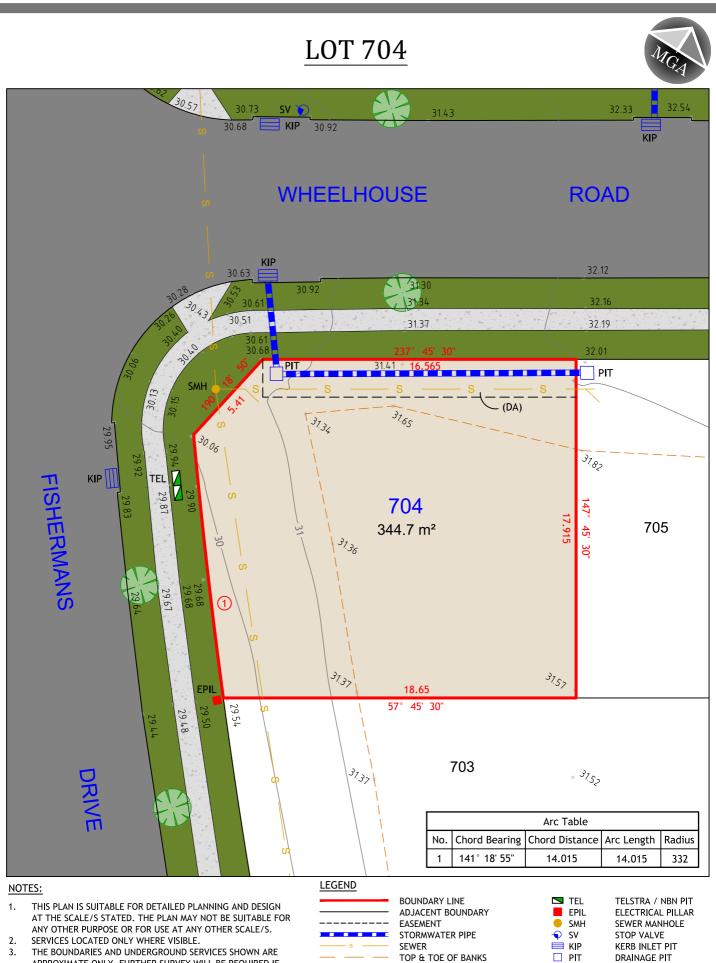
SEWER JUNCTION

SEWER MAIN

- WATER MAIN

TELSTRA /NBN

A QUALITY MCCLOY GROUP PROJECT McCLOYGROUP



THE BOUNDARIES AND UNDERGROUND SERVICES SHOWN ARE APPROXIMATE ONLY. FURTHER SURVEY WILL BE REQUIRED IF CONSTRUCTION IS TO TAKE PLACE ON OR ADJACENT TO THE BOUNDARIES.



UNIT 7A 26 BALOOK DRIVE, BERESFIELD NSW 2322 Phone: 02 4964 4886



(DA) EASEMENT TO DRAIN WATER 2 WIDE

AHD 19/03/18 1:200 A4 Datum: Date:

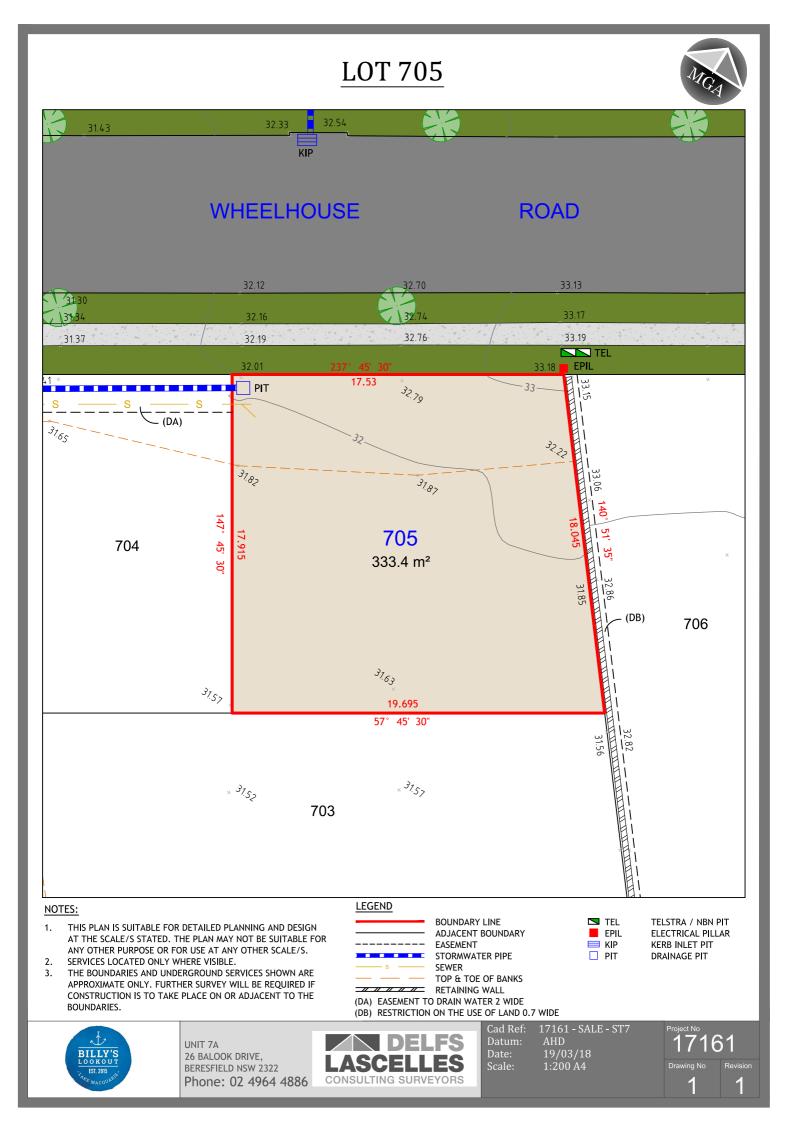
DRAINAGE PIT

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LOT 706, WHEELHOUSE ROAD, TERALBA

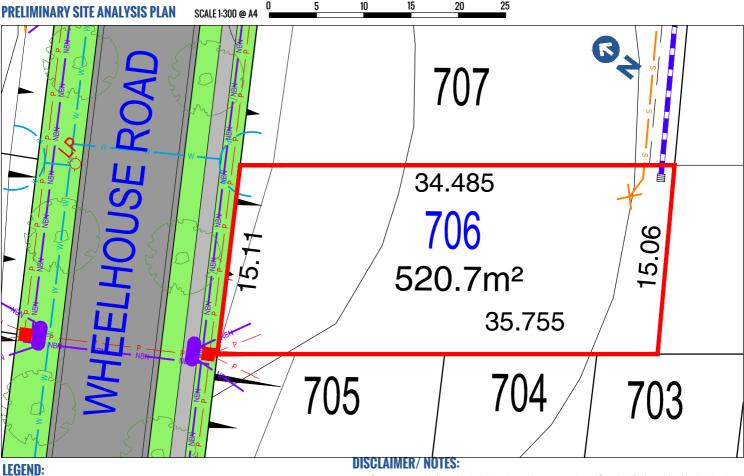


MASTER PLAN









•	TELSTRA /NBN PIT	ETAINING WALL	1.	considered as final or as-built.
⊷ ^{PP}	POWER POLE	AB VERTICAL "CHARCOAL"	2.	Location of utility services includ
	HYDRANT STOP VALVE	SEWER JUNCTION	3. 4. 5.	Supply Authority certification an Survey information such as bou the Deposited Plan and 88B Ins Bushfire and Geotechnical class This Preliminary Site Analysis P
● ◆ ^{LP}	SEWER MANHOLE LIGHT POLE	WATER MAIN	6.	assist Purchasers in obtaining q This document does not form pa
	KERB INLET PIT	OVERHEAD POWER		
	STORMWATER PIT	P UNDER GROUND POWER		
	ELECTRICITY PILLAR	Anticipated Site Classification - M Class (to be confirmed at completion of construction)		
	ELECTRICAL SUBSTATION	(DA) EAS	EMENT TO DRAI	N WATER 2 WIDE
e o o	STREET TREES			HE USE OF LAND 0.7 WIDE OF LAND AFFECT THE LOT

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- assist Purchasers in obtaining quotations/tenders for dwelling construction.
- 6. This document does not form part of the Contract of Sale of the Land.

- • • • • • • • • • • • • • • • • • • •		
REVISION/S:	HD16 STAGE 7 MARKETING r1	
DATE:	27th JULY 2017	
BY:	HIGH DEFINITION DESIGN PTY LTD	

McCLOYGROUP



LOT 707, WHEELHOUSE ROAD, TERALBA

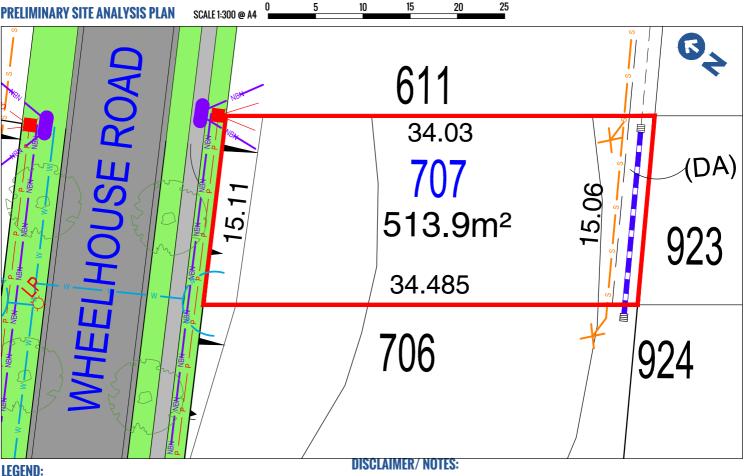


MASTER PLAN



STAGE PLAN





Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be 1. TELSTRA /NBN PIT ZZZZ RETAINING WALL considered as final or as-built. AB VERTICAL "CHARCOAL" ⇔PF 2 Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and POWER POLE Supply Authority certification and therefore should not be considered as final or as-built. STORMWATER PIPE HYDRANT 3. Survey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to SEWER JUNCTION the Deposited Plan and 88B Instrument contained in the Contract for Sale of Land for further detailed information. STOP VALVE SEWER MAIN Bushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports. This Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to 5 SEWER MANHOLE WATER MAIN assist Purchasers in obtaining quotations/tenders for dwelling construction. ۍLΡ TELSTRA /NBN LIGHT POLE 6 This document does not form part of the Contract of Sale of the Land. $\mathbf{\cdot}$ KERB INLET PIT OHP ---- OVERHEAD POWER STORMWATER PIT P ----- UNDER GROUND POWER **REVISION/S:** HD16 STAGE 7 MARKETING r1 Anticipated Site Classification - M Class ELECTRICITY PILLAR (to be confirmed at completion of construction) 27th JULY 2017 DATE: ELECTRICAL SUBSTATION (DA) EASEMENT TO DRAIN WATER 2 WIDE BY: HIGH DEFINITION DESIGN PTY LTD (DB) RESTRICTION ON THE USE OF LAND 0.7 WIDE STREET TREES RESTRICTIONS ON USE OF LAND AFFECT THE LOT



LOT 708, WHEELHOUSE ROAD, TERALBA

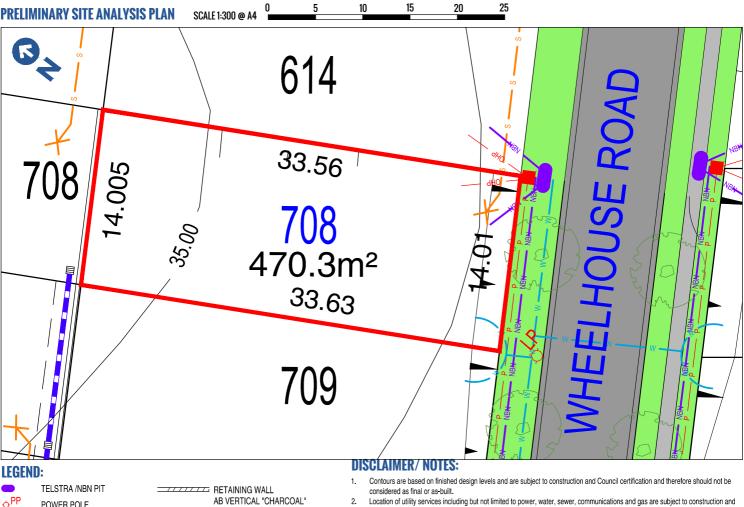


MASTER PLAN









	TELSTRA /NBN PIT			considered as final or as-built.
↔ ^{PP}	POWER POLE	AB VERTICAL "CHARCOAL"	2.	Location of utility services includ
•	HYDRANT	SEWER JUNCTION	3.	Supply Authority certification and Survey information such as bour
	STOP VALVE		4.	the Deposited Plan and 88B Insi Bushfire and Geotechnical class
•	SEWER MANHOLE		5.	This Preliminary Site Analysis P assist Purchasers in obtaining q
ф ^{LP}	LIGHT POLE	NBN TELSTRA /NBN	6.	This document does not form pa
œ	KERB INLET PIT	OVERHEAD POWER		
	STORMWATER PIT	P UNDER GROUND POWER		
	ELECTRICITY PILLAR	Anticipated Site Classification - M Class (to be confirmed at completion of construction)		
	ELECTRICAL SUBSTATION	(DA) EASEMENT	TO DRA	IN WATER 2 WIDE
en or	STREET TREES			HE USE OF LAND 0.7 WIDE OF LAND AFFECT THE LOT

- ocation of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and upply Authority certification and therefore should not be considered as final or as-built.
- urvey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to e Deposited Plan and 88B Instrument contained in the Contract for Sale of Land for further detailed information.
- ushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports. his Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to
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- his document does not form part of the Contract of Sale of the Land.

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DATE:	27th JULY 2017
BY:	HIGH DEFINITION DESIGN PTY LTD



LOT 709, WHEELHOUSE ROAD, TERALBA





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LIGHT POLE

KERB INLET PIT

STREET TREES

STORMWATER PIT

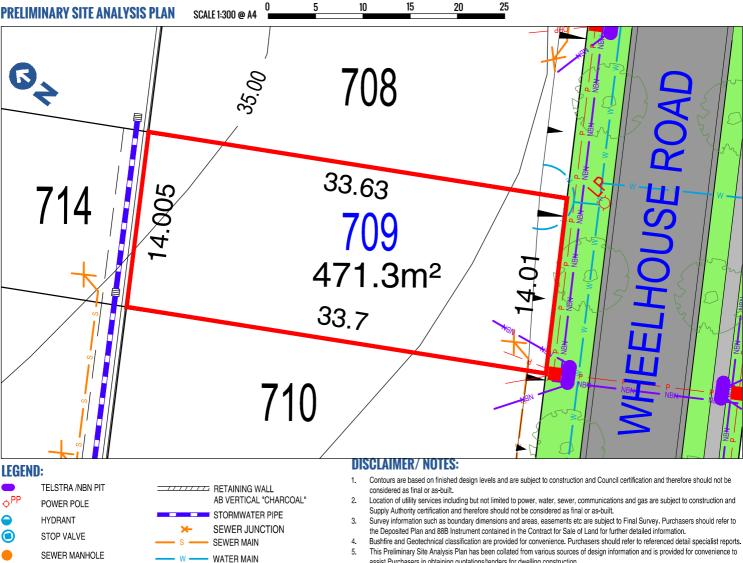
ELECTRICITY PILLAR

ELECTRICAL SUBSTATION









6

(DA) EASEMENT TO DRAIN WATER 2 WIDE

(DB) RESTRICTION ON THE USE OF LAND 0.7 WIDE

RESTRICTIONS ON USE OF LAND AFFECT THE LOT

- assist Purchasers in obtaining quotations/tenders for dwelling construction.
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	DATE:	27th JULY 2017
	BY:	HIGH DEFINITION DESIGN PTY LTD

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TELSTRA /NBN

OVERHEAD POWER

P ----- UNDER GROUND POWER

Anticipated Site Classification - M Class

(to be confirmed at completion of construction)

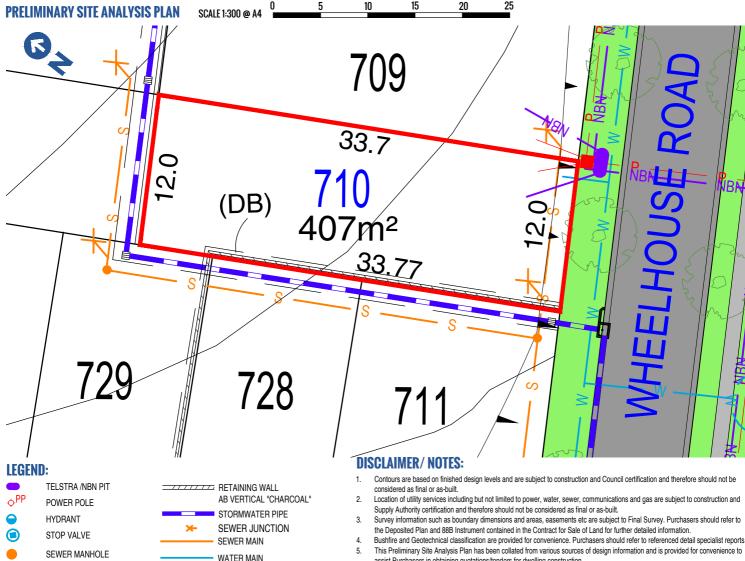
LOT 710, WHEELHOUSE ROAD, TERALBA











(DA) EASEMENT TO DRAIN WATER 2 WIDE

(DB) RESTRICTION ON THE USE OF LAND 0.7 WIDE

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	DATE:	23rd October 2017
	BY:	HIGH DEFINITION DESIGN PTY LTD

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TELSTRA /NBN

Anticipated Site Classification - M Class

(to be confirmed at completion of construction)

OVERHEAD POWER

UNDER GROUND POWER

۰LΡ

 $\mathbf{\overline{\mathbf{.}}}$

LIGHT POLE

KERB INLET PIT

STREET TREES

STORMWATER PIT

ELECTRICITY PILLAR

ELECTRICAL SUBSTATION

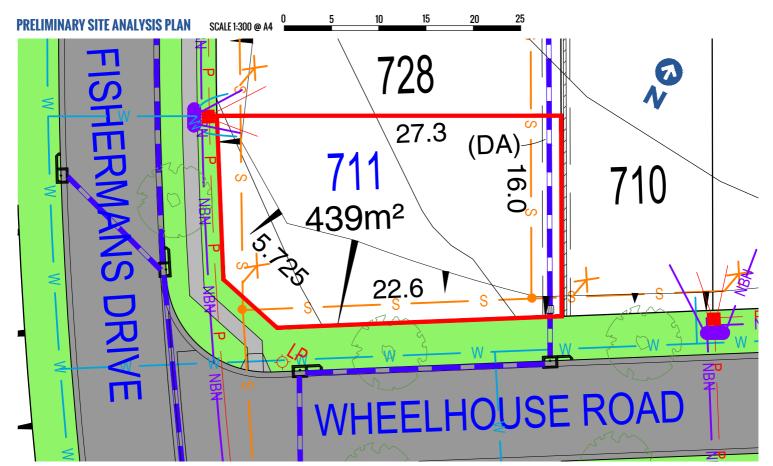
LOT 711, FISHERMANS DRIVE, TERALBA











LEGEND:

	TELSTRA /NBN P
¢ ^{₽₽}	POWER POLE
•	HYDRANT
0	STOP VALVE
	SEWER MANHOL
¢ ^{LP}	LIGHT POLE
<u> </u>	KERB INLET PIT
	STORMWATER F
	ELECTRICITY PIL
	ELECTRICAL SU
2000	ELECTRICAL SU STREET TREES

IBN PIT LE	RETAINING WALL AB VERTICAL "CHARCOAL"
E	SEWER JUNCTION
NHOLE	WATER MAIN TELSTRA /NBN
T PIT	OVERHEAD POWER
ER PIT	UNDER GROUND POWER
TY PILLAR	Anticipated Site Classification - M Class (to be confirmed at completion of construction)
L SUBSTATION	(DA) EAS

DISCLAIMER/ NOTES:

(DA) EASEMENT TO DRAIN WATER 2 WIDE

(DB) RESTRICTION ON THE USE OF LAND 0.7 WIDE

RESTRICTIONS ON USE OF LAND AFFECT THE LOT

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REVISION/S:	HD16 STAGE 7 MARKETING r1	
DATE:	23rd October 2017	
BY:	HIGH DEFINITION DESIGN PTY LTD	



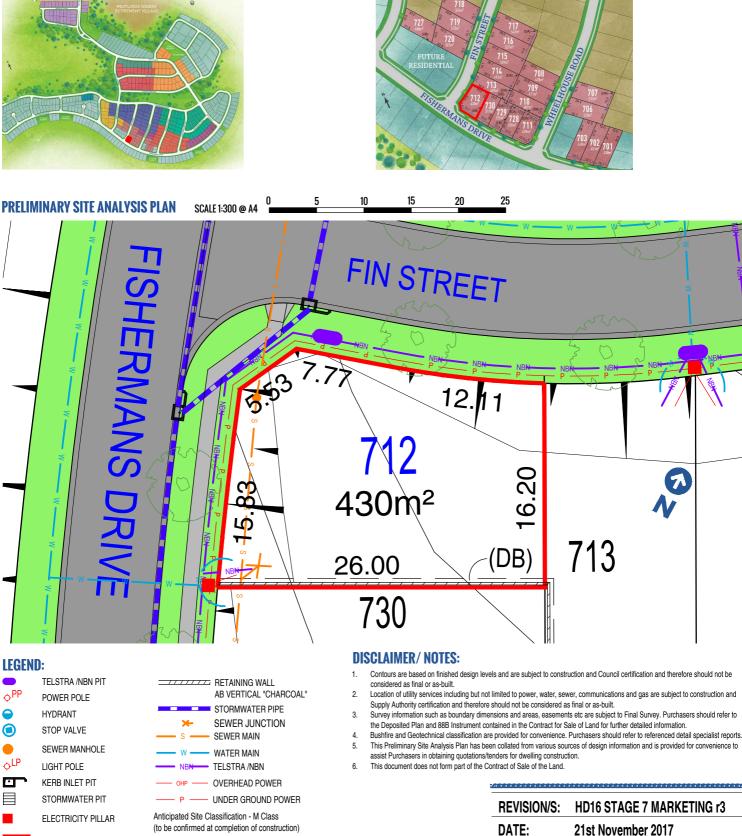


LOT 712, FISHERMANS DRIVE, TERALBA

MASTER PLAN

STAGE PLAN





tion of construction)				
	(DA) EASEMENT TO DRAIN WATER 2 WIDE			
	(DB) RESTRICTION ON THE USE OF LAND 0.7 WIDE			
	RESTRICTIONS ON USE OF LAND AFFECT THE LOT			

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ELECTRICAL SUBSTATION

STREET TREES

McCLOYGROUP

BY:



HIGH DEFINITION DESIGN PTY LTD

LOT 713, FISHERMANS DRIVE, TERALBA





STAGE PLAN



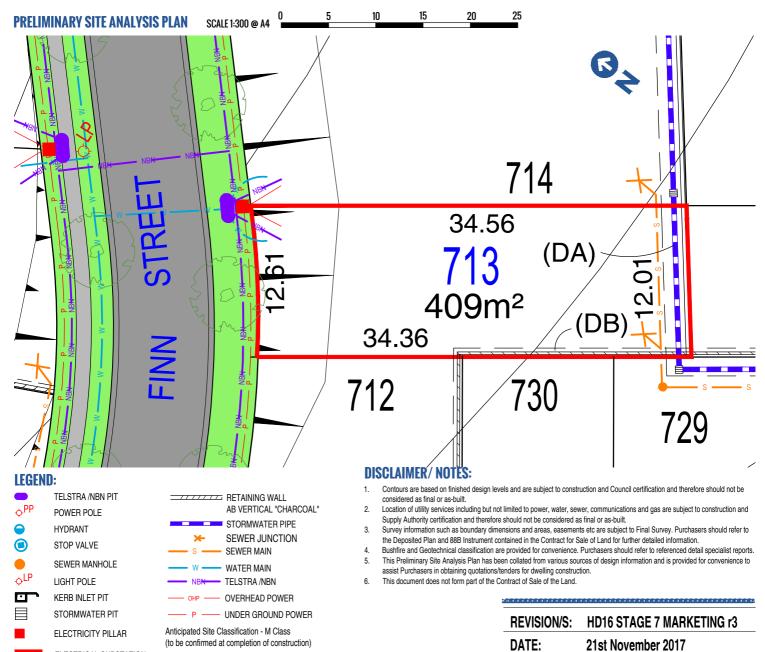
BY:

HIGH DEFINITION DESIGN PTY LTD

McCLOYGROUP

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	(DA) EASEMENT TO DRAIN WATER 2 WIDE			
	(DB) RESTRICTION ON THE USE OF LAND 0.7 WIDE			
	RESTRICTIONS ON USE OF LAND AFFECT THE LOT			

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ELECTRICAL SUBSTATION

STREET TREES

LOT 714, FIN STREET, TERALBA



MASTER PLAN

STORMWATER PIT

ELECTRICITY PILLAR

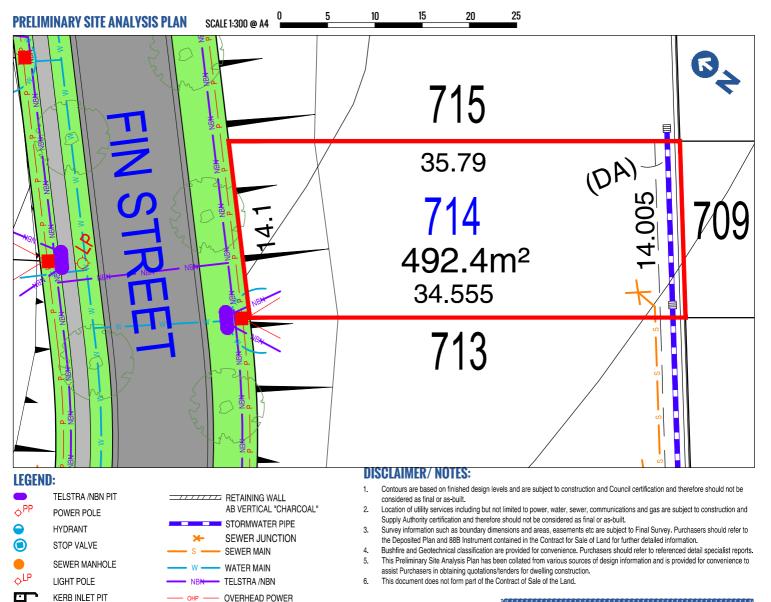
STREET TREES

ELECTRICAL SUBSTATION



STAGE PLAN





(DA) EASEMENT TO DRAIN WATER 2 WIDE(DB) RESTRICTION ON THE USE OF LAND 0.7 WIDE

RESTRICTIONS ON USE OF LAND AFFECT THE LOT

REVISION/S: HD16 STAGE 7 MARKETING r1

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DATE:	27th JULY 2017
BY:	HIGH DEFINITION DESIGN PTY LTD



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P ----- UNDER GROUND POWER

Anticipated Site Classification - M Class

(to be confirmed at completion of construction)

LOT 715, FIN STREET, TERALBA

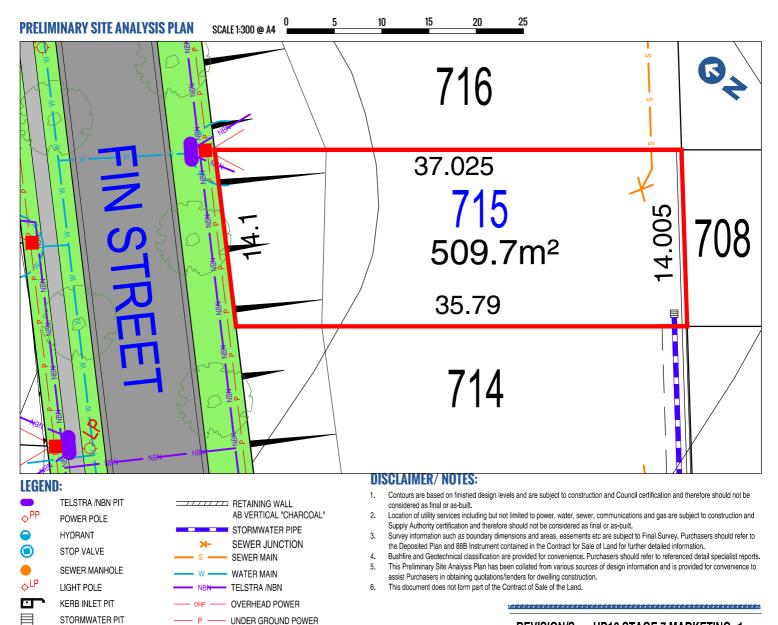






STAGE PLAN





(DA) EASEMENT TO DRAIN WATER 2 WIDE (DB) RESTRICTION ON THE USE OF LAND 0.7 WIDE

RESTRICTIONS ON USE OF LAND AFFECT THE LOT

DEVICION/C. LID4C OTAOE 7 MADIZETINO "4

REVISION/S:	HD 10 STAGE / MARKETING FI
DATE:	27th JULY 2017
BY:	HIGH DEFINITION DESIGN PTY LTD



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P ----- UNDER GROUND POWER

Anticipated Site Classification - M Class

(to be confirmed at completion of construction)

STORMWATER PIT

STREET TREES

ELECTRICITY PILLAR

ELECTRICAL SUBSTATION

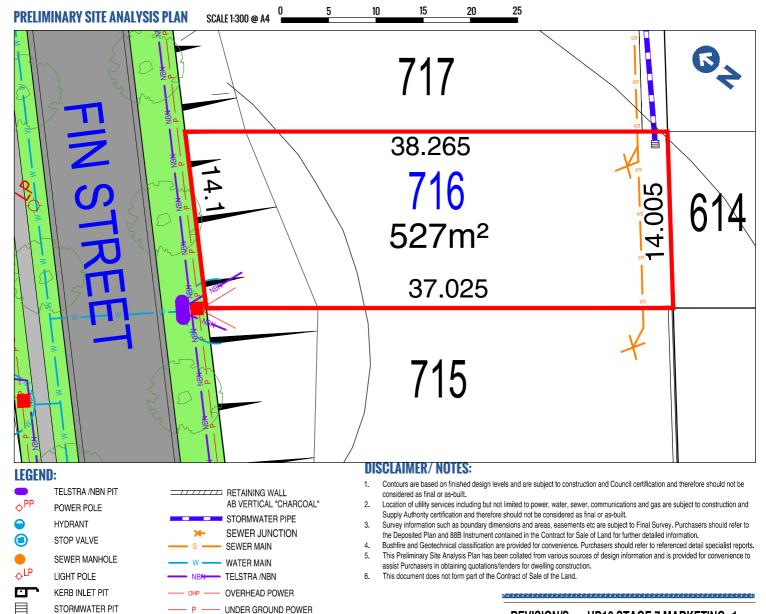
LOT 716, FIN STREET, TERALBA





STAGE PLAN





(DA) EASEMENT TO DRAIN WATER 2 WIDE (DB) RESTRICTION ON THE USE OF LAND 0.7 WIDE

RESTRICTIONS ON USE OF LAND AFFECT THE LOT

REVISION/S:	HD16 STAGE 7 MARKETING r1
DATE:	27th JULY 2017
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P ----- UNDER GROUND POWER

Anticipated Site Classification - M Class

(to be confirmed at completion of construction)

STORMWATER PIT

ELECTRICITY PILLAR

STREET TREES

ELECTRICAL SUBSTATION

LOT 717, FIN STREET, TERALBA

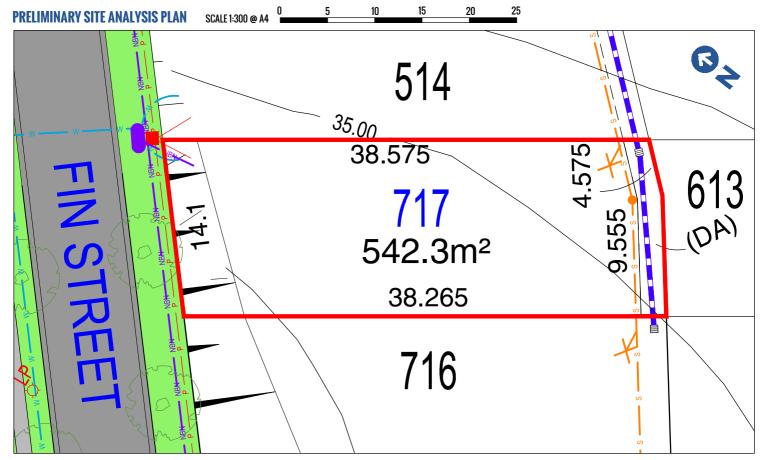


MASTER PLAN

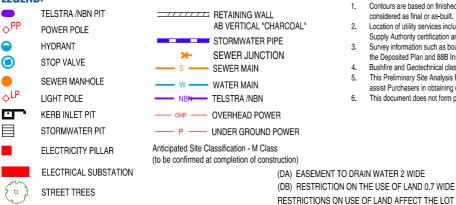


STAGE PLAN





LEGEND:



DISCLAIMER/ NOTES:

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REVISION/S: HD16 STAGE 7 MARKETING r1 DATE: 27th JULY 2017

BY:	HIGH DEFINITION DESIGN PTY LTD
DATE:	27th JULY 2017



LOT 718, FIN STREET, TERALBA



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MCCLOY GROUP PROJECT

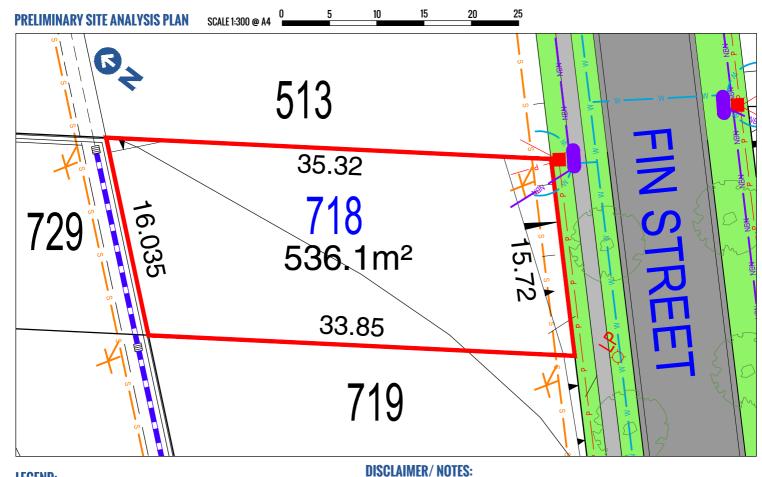
McCLOYGROUP



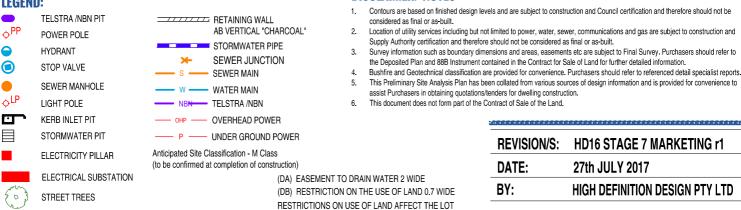
STAGE PLAN







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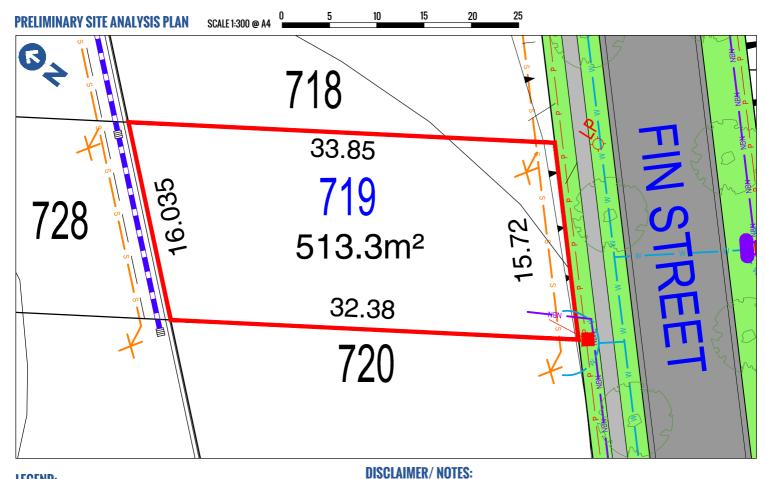
LOT 719, FIN STREET, TERALBA



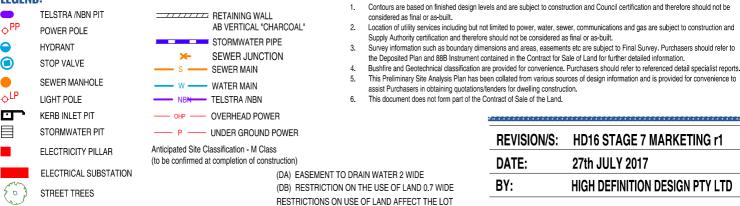


STAGE PLAN





LEGEND:



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DATE:	27th JULY 2017	
BY:	HIGH DEFINITION DESIGN PTY LTD	



LOT 720, FIN STREET, TERALBA

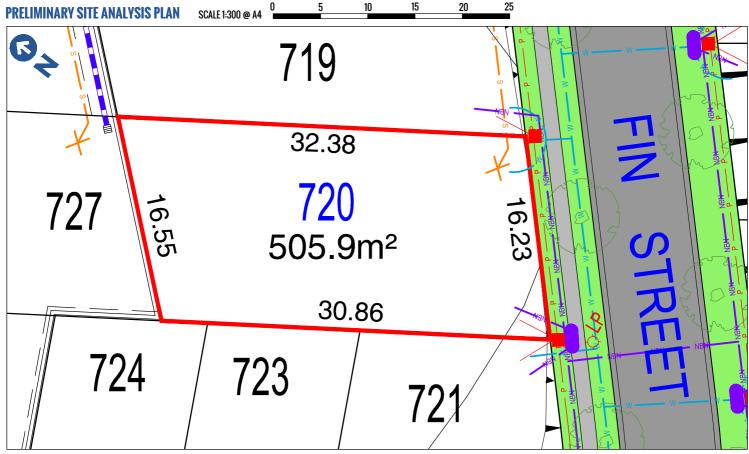




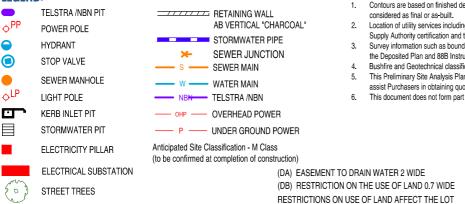








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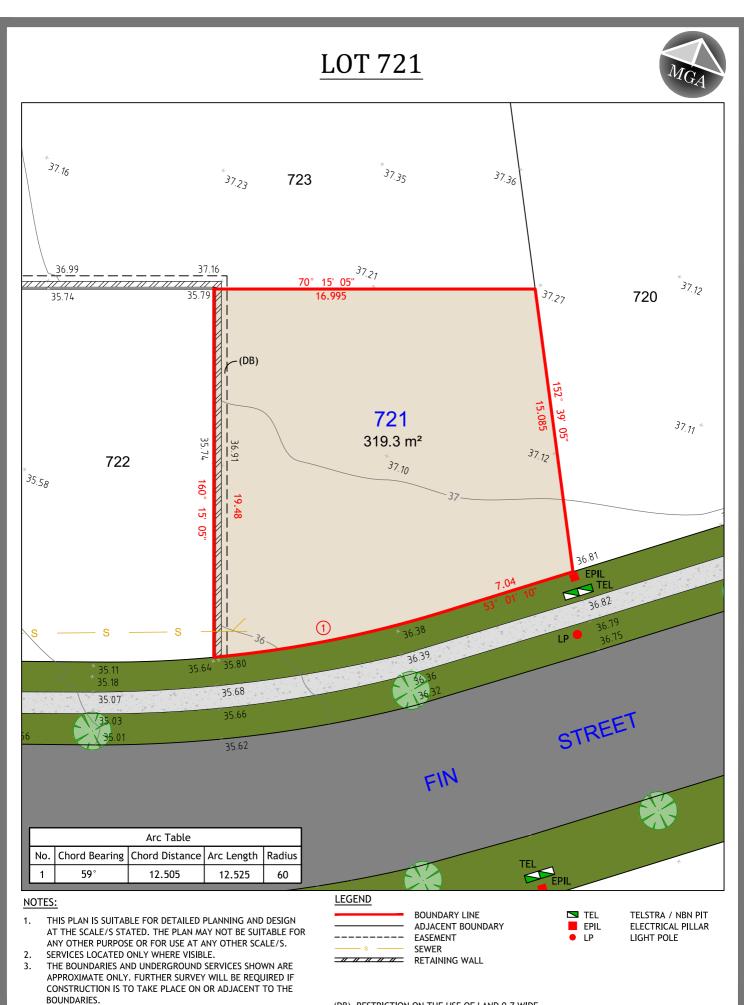


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- ************************************			
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DATE:	27th JULY 2017		
BY:	HIGH DEFINITION DESIGN PTY LTD		





⁽DB) RESTRICTION ON THE USE OF LAND 0.7 WIDE



UNIT 7A 26 BALOOK DRIVE, BERESFIELD NSW 2322 Phone: 02 4964 4886

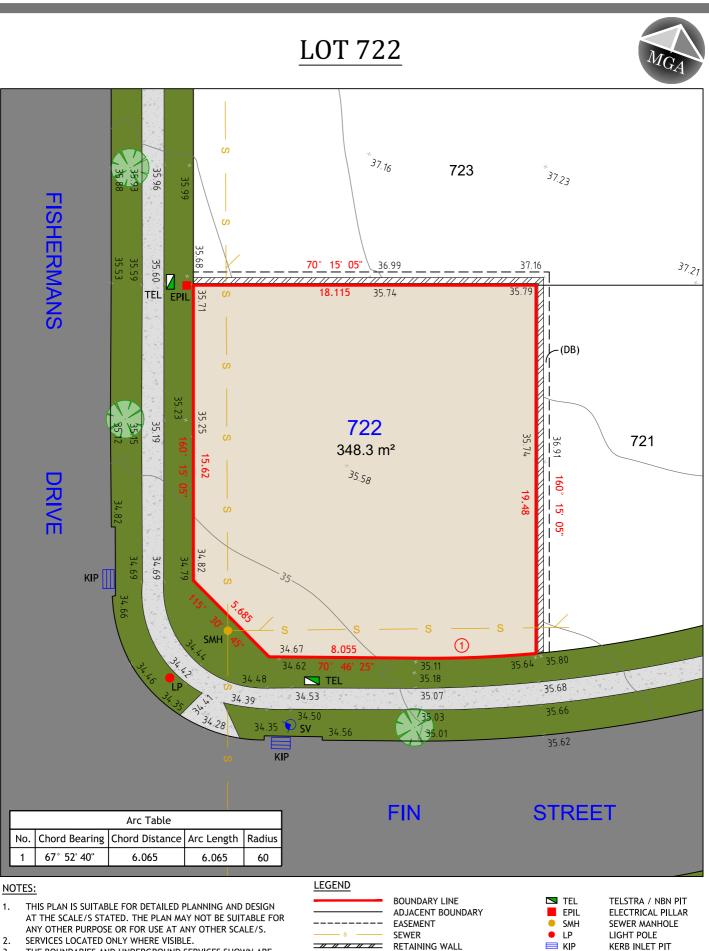
ASCELLES CONSULTING SURVEYORS Date:

AHD 19/03/18 1:200 A4

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2. SERVICES LOCATED ONLY WHERE VISIBLE. 3. THE BOUNDARIES AND UNDERGROUND SERVICES SHOWN ARE APPROXIMATE ONLY. FURTHER SURVEY WILL BE REQUIRED IF CONSTRUCTION IS TO TAKE PLACE ON OR ADJACENT TO THE BOUNDARIES.



UNIT 7A 26 BALOOK DRIVE, BERESFIELD NSW 2322 Phone: 02 4964 4886



RETAINING WALL

(DB) RESTRICTION ON THE USE OF LAND 0.7 WIDE AHD 19/03/18 1:200 A4

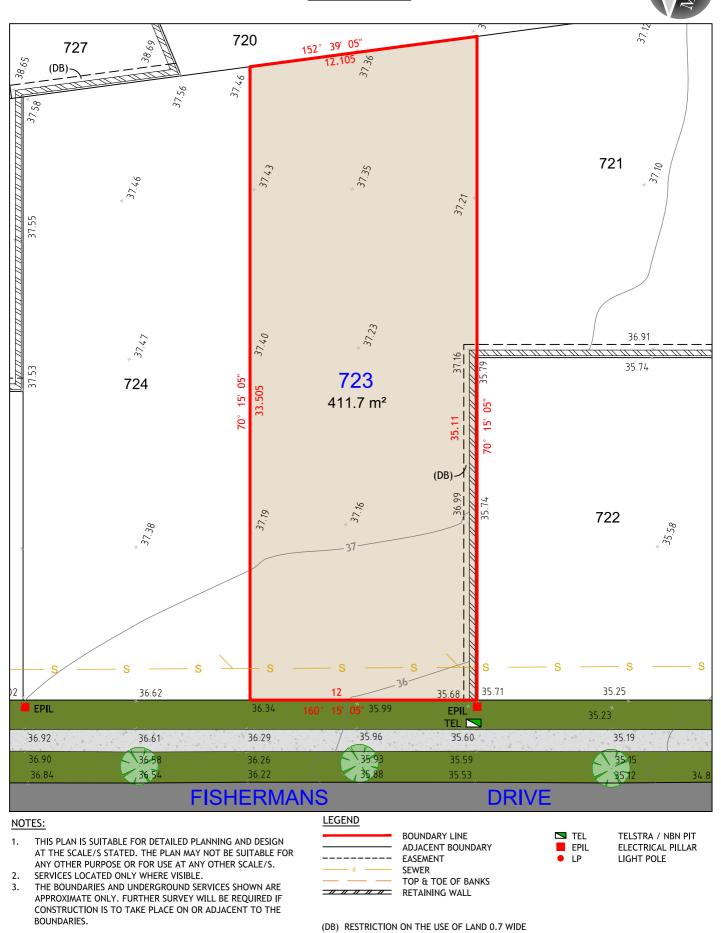
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KERB INLET PIT

STOP VALVE

LOT 723



BILLY

UNIT 7A 26 BALOOK DRIVE, BERESFIELD NSW 2322 Phone: 02 4964 4886



Datum: Date:

AHD 19/03/18 1:200 A4

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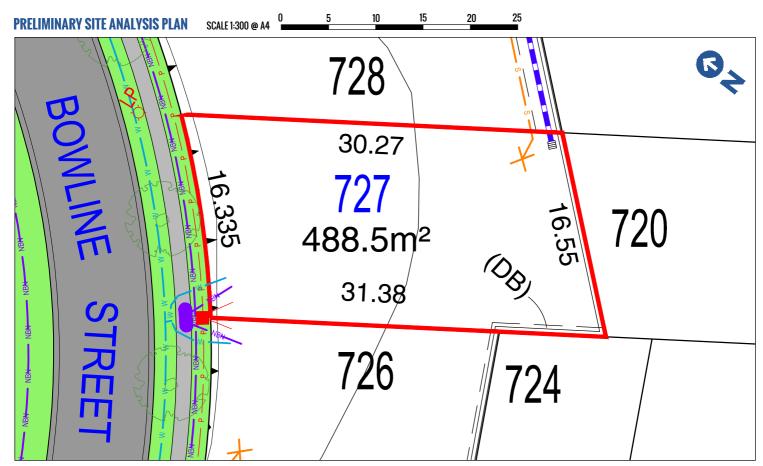
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LOT 727, BOWLINE STREET, TERALBA









LEGEND:

LEGENI				
	TELSTRA /NBN PIT		1.	Contours are based on finished considered as final or as-built.
.⇔ ^{PP}	POWER POLE	AB VERTICAL "CHARCOAL"	2.	Location of utility services includ Supply Authority certification and
\bigcirc	HYDRANT	STORMWATER PIPE	3.	Survey information such as bour
	STOP VALVE	Sewer Jone Ton	4.	the Deposited Plan and 88B Inst Bushfire and Geotechnical class
•	SEWER MANHOLE		5.	This Preliminary Site Analysis Pl assist Purchasers in obtaining qu
ф ^{LP}	LIGHT POLE	NBN TELSTRA /NBN	6.	This document does not form pa
G	KERB INLET PIT	OVERHEAD POWER		
	STORMWATER PIT	P UNDER GROUND POWER		
	ELECTRICITY PILLAR	Anticipated Site Classification - M Class (to be confirmed at completion of construction)		
	ELECTRICAL SUBSTATION	(DA) EASEMENT T	O DRA	N WATER 2 WIDE
20 mg	STREET TREES			HE USE OF LAND 0.7 WIDE OF LAND AFFECT THE LOT

DISCLAIMER/ NOTES:

- 1. Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be considered as final or as-built.
- Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and Supply Authority certification and therefore should not be considered as final or as-built.
- Survey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to the Deposited Plan and 88B Instrument contained in the Contract for Sale of Land for further detailed information.
- Bushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports.
 This Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to
- assist Purchasers in obtaining quotations/tenders for dwelling construction.
- This document does not form part of the Contract of Sale of the Land.

REVISION/S:HD16 STAGE 7 MARKETING r1DATE:27th JULY 2017BY:HIGH DEFINITION DESIGN PTY LTD

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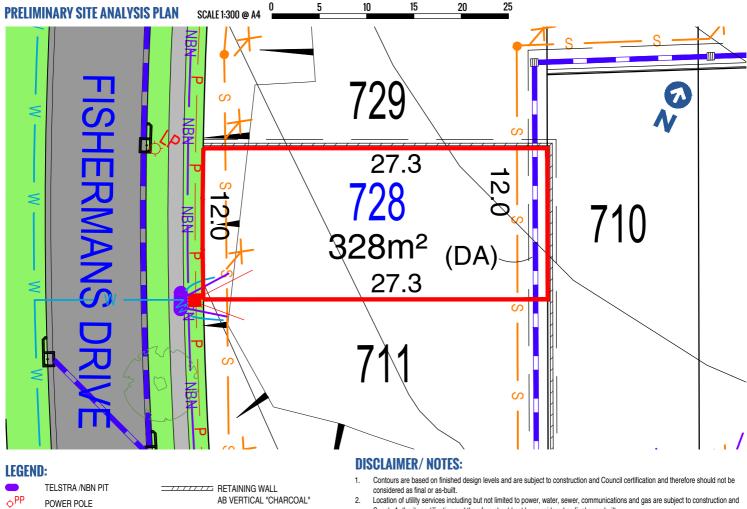
LOT 728, FISHERMANS DRIVE, TERALBA











(DA) EASEMENT TO DRAIN WATER 2 WIDE (DB) RESTRICTION ON THE USE OF LAND 0.7 WIDE

RESTRICTIONS ON USE OF LAND AFFECT THE LOT

	TELSTRA /NBN PIT	RETAINING WALL
¢ ^{PP}	POWER POLE	AB VERTICAL "CHARCOAL"
\bigcirc	HYDRANT	STORMWATER PIPE
	STOP VALVE	SEWER JUNCTION
•	SEWER MANHOLE	WATER MAIN
ф ^{LP}	LIGHT POLE	TELSTRA /NBN
	KERB INLET PIT	OVERHEAD POWER
	STORMWATER PIT	UNDER GROUND POWER
	ELECTRICITY PILLAR	Anticipated Site Classification - M Class (to be confirmed at completion of construction)
	ELECTRICAL SUBSTATION	(DA) EAS
503	STREET TREES	(DB) RES

- considered as final or as-built.
- 2 Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and Supply Authority certification and therefore should not be considered as final or as-built.
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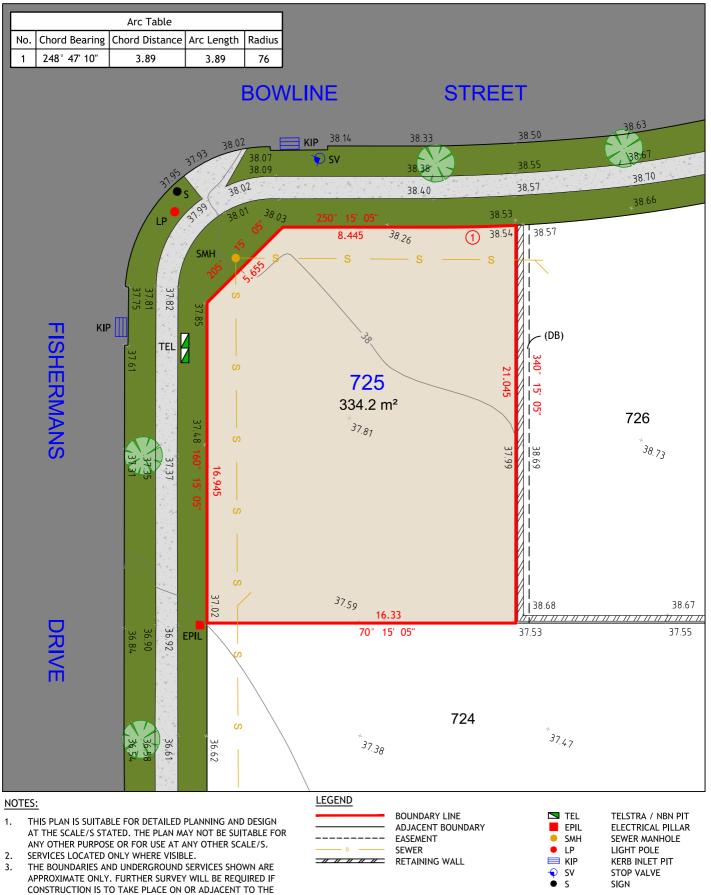
	REVISION/S:	HD16 STAGE 7 MARKETING r1
	DATE:	23rd October 2017
	BY	HIGH DEFINITION DESIGN PTY I TD

McCLOYGROUP



LOT 725





(DB) RESTRICTION ON THE USE OF LAND 0.7 WIDE



BOUNDARIES.

UNIT 7A 26 BALOOK DRIVE, BERESFIELD NSW 2322 Phone: 02 4964 4886



Ref: 17161 - SALE um: AHD 2: 19/03/18 e: 1:200 A4 Project No 17161 Drawing No Re 1

Revisior

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LOT 726



BILLY

26 BALOOK DRIVE, BERESFIELD NSW 2322 Phone: 02 4964 4886

ASCELLES CONSULTING SURVEYORS AHD 19/03/18 1:200 A4



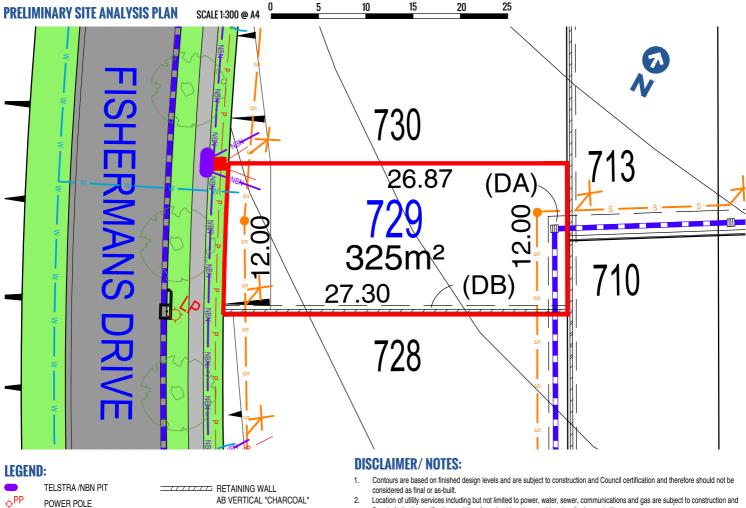
LOT 729, FISHERMANS DRIVE, TERALBA











(DA) EASEMENT TO DRAIN WATER 2 WIDE(DB) RESTRICTION ON THE USE OF LAND 0.7 WIDE

RESTRICTIONS ON USE OF LAND AFFECT THE LOT

Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and Supply Authority certification and therefore should not be considered as final or as-built. Survey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to

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REVISION/S:	HD16 STAGE 7 MARKETING r3			
DATE:	21st November 2017			
BY:	HIGH DEFINITION DESIGN PTY LTD			



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HYDRANT

STOP VALVE

LIGHT POLE

KERB INLET PIT

STREET TREES

STORMWATER PIT

ELECTRICITY PILLAR

ELECTRICAL SUBSTATION

SEWER MANHOLE

STORMWATER PIPE

SEWER JUNCTION

SEWER MAIN

WATER MAIN

TELSTRA /NBN

P ----- UNDER GROUND POWER

OHP ---- OVERHEAD POWER

Anticipated Site Classification - M Class

(to be confirmed at completion of construction)

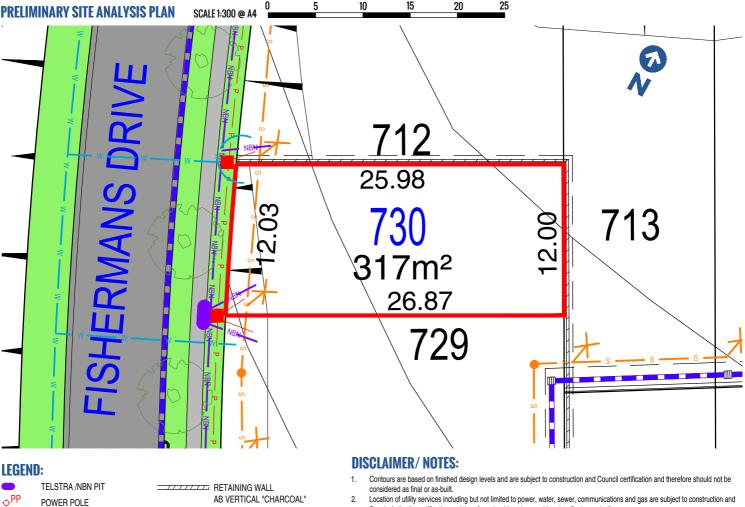
LOT 730, FISHERMANS DRIVE, TERALBA











RESTRICTIONS ON USE OF LAND AFFECT THE LOT

	TELSTRA /NBN PIT	RETAINING WALL	1.	considered as final or as-built.
фPP	POWER POLE	AB VERTICAL "CHARCOAL"	2.	Location of utility services includi
	HYDRANT STOP VALVE	SEWER JUNCTION	3. 4.	Supply Authority certification and Survey information such as bour the Deposited Plan and 88B Inst Bushfire and Geotechnical classi
•	SEWER MANHOLE		5.	This Preliminary Site Analysis Pla assist Purchasers in obtaining qu
ф ^{LP}	LIGHT POLE	NBN TELSTRA /NBN	6.	This document does not form part
	KERB INLET PIT	OVERHEAD POWER		
	STORMWATER PIT	P UNDER GROUND POWER		
•	ELECTRICITY PILLAR	Anticipated Site Classification - M Class (to be confirmed at completion of construction)		
	ELECTRICAL SUBSTATION	(DA) EASEMENT T	O DRA	IN WATER 2 WIDE
503	STREET TREES			HE USE OF LAND 0.7 WIDE

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