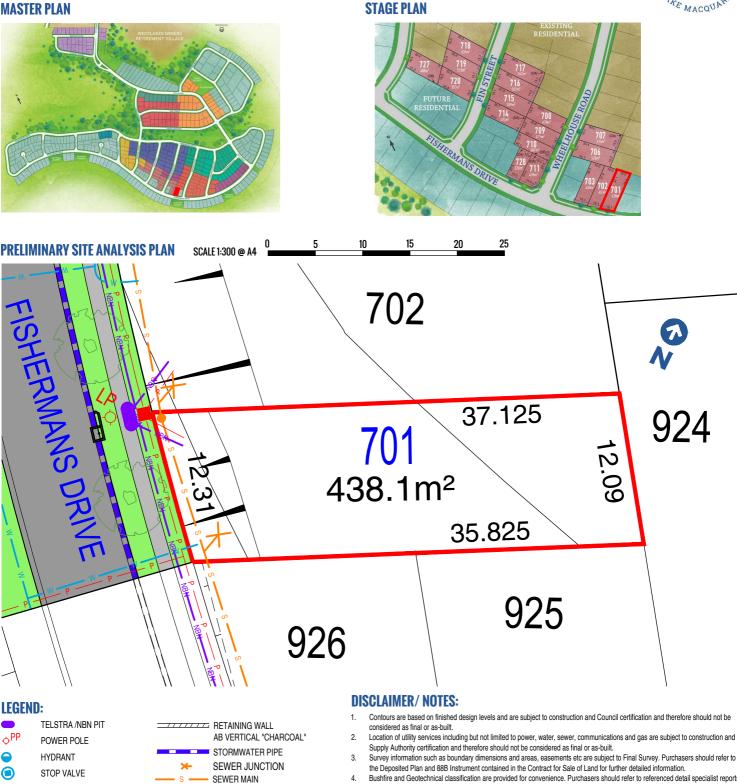
### LOT 701, FISHERMANS DRIVE, TERALBA





(DA) EASEMENT TO DRAIN WATER 2 WIDE (DB) RESTRICTION ON THE USE OF LAND 0.7 WIDE

RESTRICTIONS ON USE OF LAND AFFECT THE LOT

- Bushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports.
   This Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to
- assist Purchasers in obtaining quotations/tenders for dwelling construction.
  - This document does not form part of the Contract of Sale of the Land.

| <b>REVISION/S:</b> | HD16 STAGE 7 MARKETING r1      |
|--------------------|--------------------------------|
| DATE:              | 23rd October 2017              |
| BY:                | HIGH DEFINITION DESIGN PTY LTD |





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WATER MAIN

TELSTRA /NBN

P ----- UNDER GROUND POWER

OHP ---- OVERHEAD POWER

Anticipated Site Classification - M Class

(to be confirmed at completion of construction)

SEWER MANHOLE

LIGHT POLE

KERB INLET PIT

STREET TREES

STORMWATER PIT

ELECTRICITY PILLAR

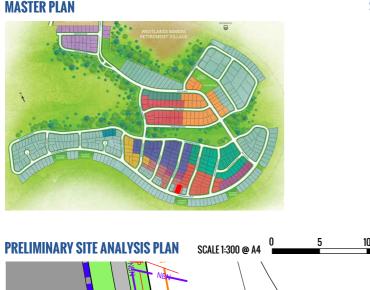
ELECTRICAL SUBSTATION

ۍLΡ

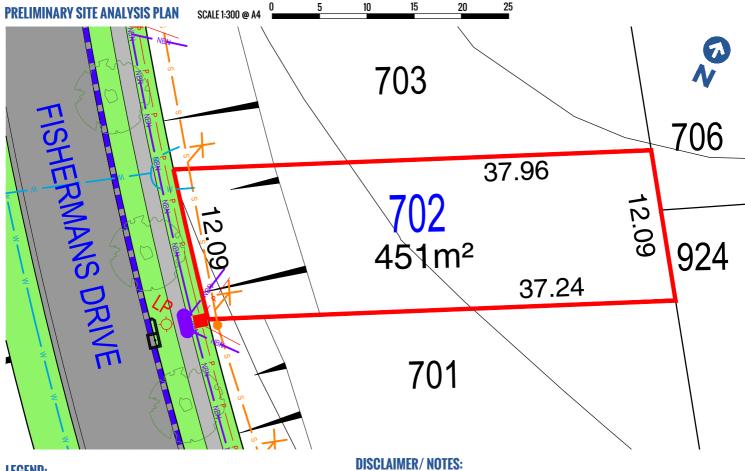
 $\mathbf{\Box}$ 

## LOT 702, FISHERMANS DRIVE, TERALBA









### **LEGEND:**

|                  | TELSTRA /NBN PIT      | BETAINING WALL   | 1.     | Contours are based on finished<br>considered as final or as-built.                                       |
|------------------|-----------------------|--|--------|--|
| -⇔ <sup>PP</sup> | POWER POLE            | AB VERTICAL "CHARCOAL"   | 2.     | Location of utility services includ  |
| •                | HYDRANT               | SEWER JUNCTION   | 3.     | Supply Authority certification and<br>Survey information such as bour<br>the Deposited Plan and 88B Inst |
|                  | STOP VALVE            | s — SEWER MAIN   | 4.     | Bushfire and Geotechnical class  |
|                  | SEWER MANHOLE         | W WATER MAIN   | 5.     | This Preliminary Site Analysis Pl<br>assist Purchasers in obtaining qu                                   |
| ф <sup>LP</sup>  | LIGHT POLE            | NBN TELSTRA /NBN   | 6.     | This document does not form pa   |
| G                | KERB INLET PIT        | OVERHEAD POWER   |        |  |
|                  | STORMWATER PIT        | P UNDER GROUND POWER   |        |  |
| •                | ELECTRICITY PILLAR    | Anticipated Site Classification - M Class<br>(to be confirmed at completion of construction) |        |  |
|                  | ELECTRICAL SUBSTATION | (DA) EASEMENT  | TO DRA | IN WATER 2 WIDE  |
| E .              | STREET TREES          |  |        | THE USE OF LAND 0.7 WIDE<br>OF LAND AFFECT THE LOT   |

- Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be 1. considered as final or as-built.
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- assist Purchasers in obtaining quotations/tenders for dwelling construction.
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REVISION/S: HD16 STAGE 7 MARKETING r1

| DATE: | 23rd October 2017              |
|-------|--------------------------------|
| BY:   | HIGH DEFINITION DESIGN PTY LTD |

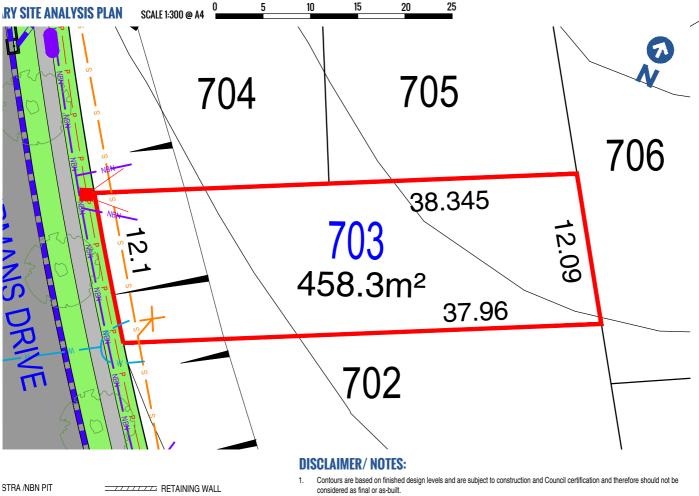


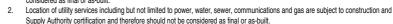
### **703, FISHERMANS DRIVE, TERALBA**











- Survey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to 3. the Deposited Plan and 88B Instrument contained in the Contract for Sale of Land for further detailed information.
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| B INLET PIT        | OVERHEAD POWER                                  |                     |                                |
|--------------------|---|---------------------|--------------------------------|
| RMWATER PIT        | P UNDER GROUND POWER                            | <b>REVISION/S</b> : | HD16 STAGE 7 MARKETING r1      |
| CTRICITY PILLAR    | Anticipated Site Classification - M Class       |                     |                                |
| OTHIOITTTLEAN      | (to be confirmed at completion of construction) | DATE:               | 23rd October 2017              |
| CTRICAL SUBSTATION | (DA) EASEMENT TO DRAIN WATER 2 WIDE             |                     |                                |
| EET TREES          | (DB) RESTRICTION ON THE USE OF LAND 0.7 WIDE    | BY:                 | HIGH DEFINITION DESIGN PTY LTD |
|                    | RESTRICTIONS ON USE OF LAND AFFECT THE LOT      |                     |                                |

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w.

VER POLE

P VALVE

**IT POLE** 

**VER MANHOLE** 

RANT

AB VERTICAL "CHARCOAL"

STORMWATER PIPE

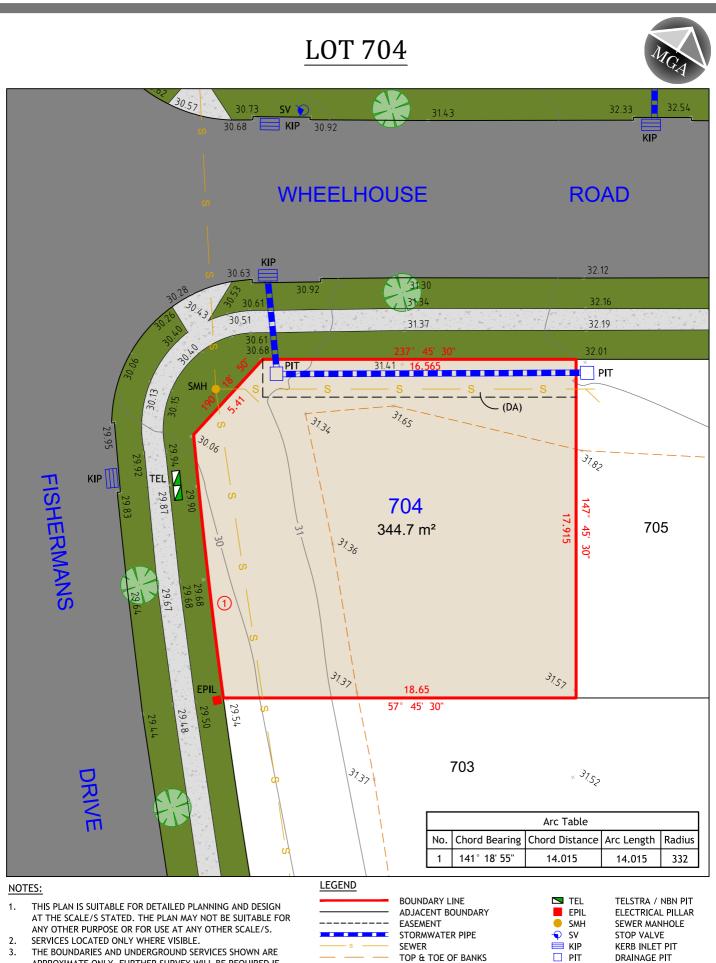
SEWER JUNCTION

SEWER MAIN

- WATER MAIN

TELSTRA /NBN

A QUALITY MCCLOY GROUP PROJECT McCLOYGROUP



THE BOUNDARIES AND UNDERGROUND SERVICES SHOWN ARE APPROXIMATE ONLY. FURTHER SURVEY WILL BE REQUIRED IF CONSTRUCTION IS TO TAKE PLACE ON OR ADJACENT TO THE BOUNDARIES.



UNIT 7A 26 BALOOK DRIVE, BERESFIELD NSW 2322 Phone: 02 4964 4886



(DA) EASEMENT TO DRAIN WATER 2 WIDE

AHD 19/03/18 1:200 A4 Datum: Date:

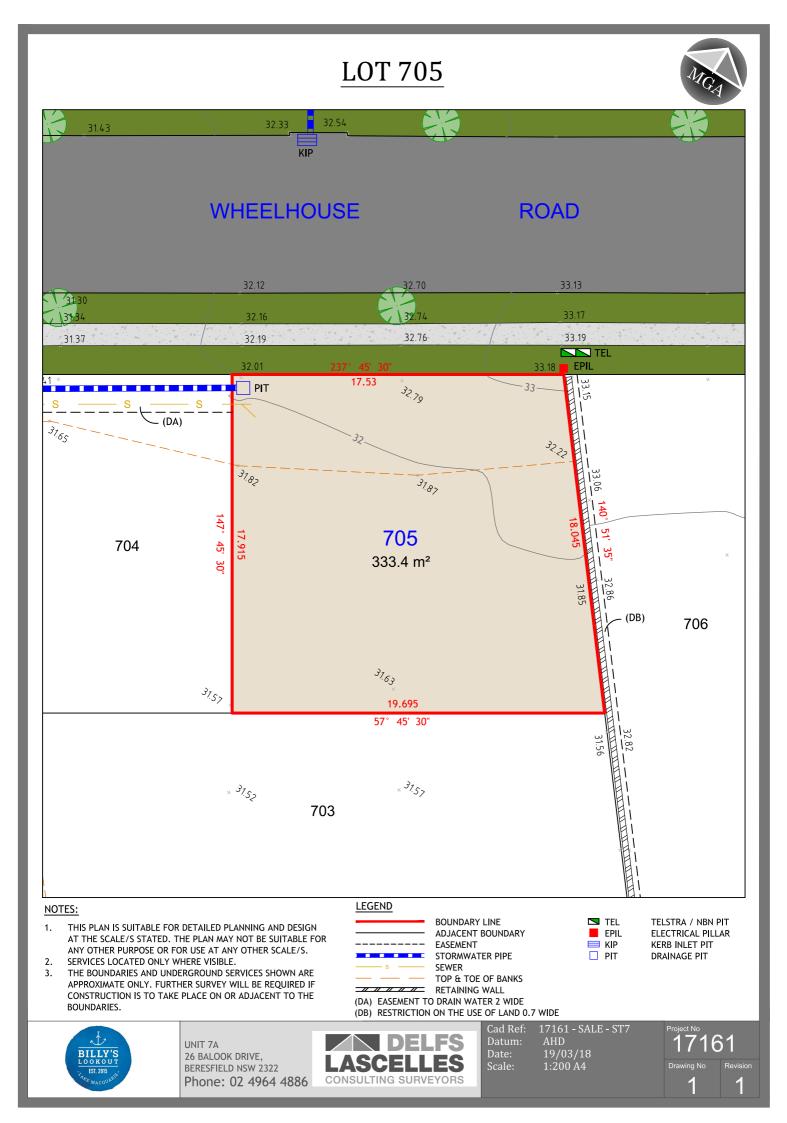
DRAINAGE PIT

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Revisior

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### LOT 706, WHEELHOUSE ROAD, TERALBA

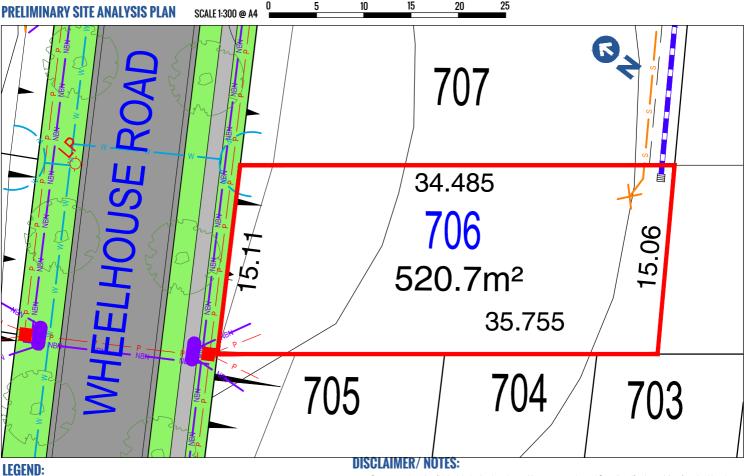


#### **MASTER PLAN**









| •                    | TELSTRA /NBN PIT            | ETAINING WALL  | 1.             | considered as final or as-built.   |
|----------------------|-----------------------------|--|----------------|--|
| ⊷ <sup>PP</sup>      | POWER POLE                  | AB VERTICAL "CHARCOAL"   | 2.             | Location of utility services includ  |
|                      | HYDRANT<br>STOP VALVE       | SEWER JUNCTION   | 3.<br>4.<br>5. | Supply Authority certification an<br>Survey information such as bou<br>the Deposited Plan and 88B Ins<br>Bushfire and Geotechnical class<br>This Preliminary Site Analysis P |
| ●<br>◆ <sup>LP</sup> | SEWER MANHOLE<br>LIGHT POLE | WATER MAIN   | 6.             | assist Purchasers in obtaining q<br>This document does not form pa   |
|                      | KERB INLET PIT              | OVERHEAD POWER   |                |  |
|                      | STORMWATER PIT              | P UNDER GROUND POWER   |                |  |
|                      | ELECTRICITY PILLAR          | Anticipated Site Classification - M Class<br>(to be confirmed at completion of construction) |                |  |
|                      | ELECTRICAL SUBSTATION       | (DA) EAS   | EMENT TO DRAI  | N WATER 2 WIDE   |
| e o o                | STREET TREES                |  |                | HE USE OF LAND 0.7 WIDE<br>OF LAND AFFECT THE LOT  |

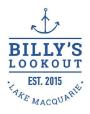
- Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be 1. considered as final or as-built.
- 2. Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and Supply Authority certification and therefore should not be considered as final or as-built.
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| -<br>• • • • • • • • • • • • • • • • • • • |                                |  |
|--|--------------------------------|--|
| <b>REVISION/S:</b>                         | HD16 STAGE 7 MARKETING r1      |  |
| DATE:                                      | 27th JULY 2017                 |  |
| BY:  | HIGH DEFINITION DESIGN PTY LTD |  |

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## LOT 707, WHEELHOUSE ROAD, TERALBA

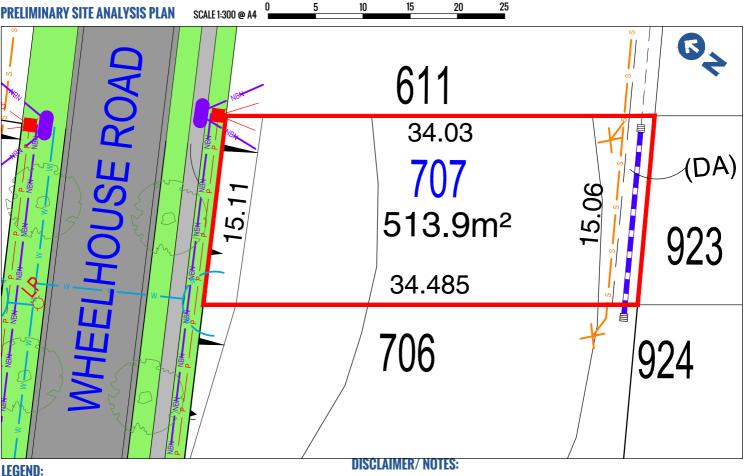


#### **MASTER PLAN**



#### **STAGE PLAN**





#### Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be 1. TELSTRA /NBN PIT ZZZZ RETAINING WALL considered as final or as-built. AB VERTICAL "CHARCOAL" <del>⇔</del>PF 2 Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and POWER POLE Supply Authority certification and therefore should not be considered as final or as-built. STORMWATER PIPE HYDRANT 3. Survey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to SEWER JUNCTION the Deposited Plan and 88B Instrument contained in the Contract for Sale of Land for further detailed information. STOP VALVE SEWER MAIN Bushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports. This Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to 5 SEWER MANHOLE WATER MAIN assist Purchasers in obtaining quotations/tenders for dwelling construction. ۍLΡ TELSTRA /NBN LIGHT POLE 6 This document does not form part of the Contract of Sale of the Land. $\mathbf{\cdot}$ KERB INLET PIT OHP ---- OVERHEAD POWER STORMWATER PIT P ----- UNDER GROUND POWER **REVISION/S:** HD16 STAGE 7 MARKETING r1 Anticipated Site Classification - M Class ELECTRICITY PILLAR (to be confirmed at completion of construction) 27th JULY 2017 DATE: ELECTRICAL SUBSTATION (DA) EASEMENT TO DRAIN WATER 2 WIDE BY: HIGH DEFINITION DESIGN PTY LTD (DB) RESTRICTION ON THE USE OF LAND 0.7 WIDE STREET TREES RESTRICTIONS ON USE OF LAND AFFECT THE LOT

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### LOT 708, WHEELHOUSE ROAD, TERALBA

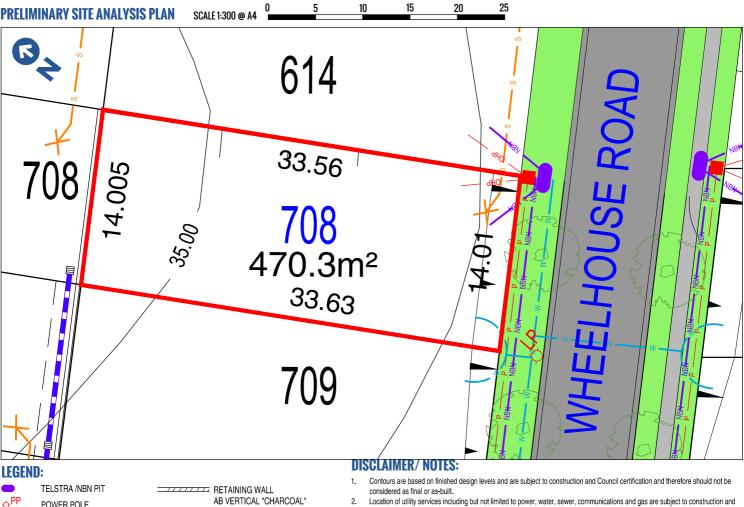


#### **MASTER PLAN**









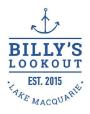
|                 | TELSTRA /NBN PIT      |  |        | considered as final or as-built.                                      |
|-----------------|-----------------------|--|--------|---|
| ↔ <sup>PP</sup> | POWER POLE            | AB VERTICAL "CHARCOAL"   | 2.     | Location of utility services includ                                   |
| •               | HYDRANT               | SEWER JUNCTION   | 3.     | Supply Authority certification and<br>Survey information such as bour |
|                 | STOP VALVE            |  | 4.     | the Deposited Plan and 88B Insi<br>Bushfire and Geotechnical class    |
| •               | SEWER MANHOLE         |  | 5.     | This Preliminary Site Analysis P<br>assist Purchasers in obtaining q  |
| ф <sup>LP</sup> | LIGHT POLE            | NBN TELSTRA /NBN   | 6.     | This document does not form pa  |
| œ               | KERB INLET PIT        | OVERHEAD POWER   |        |   |
|                 | STORMWATER PIT        | P UNDER GROUND POWER   |        |   |
|                 | ELECTRICITY PILLAR    | Anticipated Site Classification - M Class<br>(to be confirmed at completion of construction) |        |   |
|                 | ELECTRICAL SUBSTATION | (DA) EASEMENT  | TO DRA | IN WATER 2 WIDE   |
| en or           | STREET TREES          |  |        | HE USE OF LAND 0.7 WIDE<br>OF LAND AFFECT THE LOT                     |

- ocation of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and upply Authority certification and therefore should not be considered as final or as-built.
- urvey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to e Deposited Plan and 88B Instrument contained in the Contract for Sale of Land for further detailed information.
- ushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports. his Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to
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- his document does not form part of the Contract of Sale of the Land.

| REVISION/S: | HD16 STAGE 7 MARKETING r1      |
|-------------|--------------------------------|
| DATE:       | 27th JULY 2017                 |
| BY:         | HIGH DEFINITION DESIGN PTY LTD |



### LOT 709, WHEELHOUSE ROAD, TERALBA





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LIGHT POLE

KERB INLET PIT

STREET TREES

STORMWATER PIT

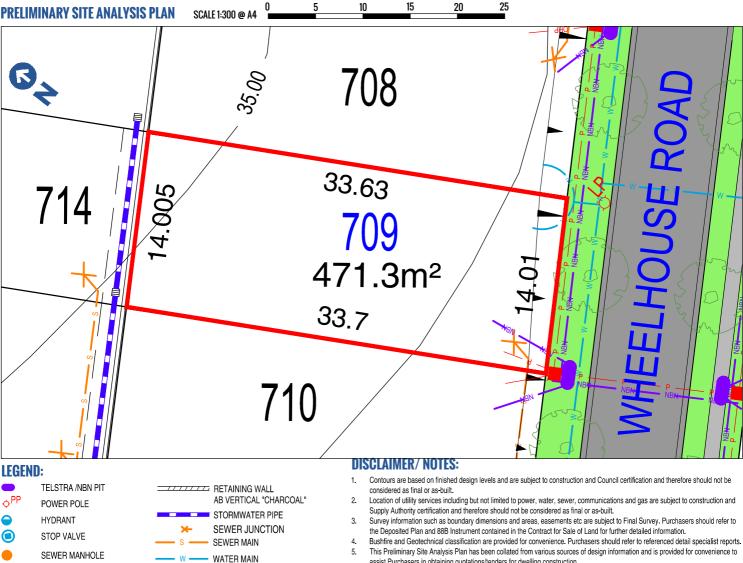
ELECTRICITY PILLAR

ELECTRICAL SUBSTATION









6

(DA) EASEMENT TO DRAIN WATER 2 WIDE

(DB) RESTRICTION ON THE USE OF LAND 0.7 WIDE

RESTRICTIONS ON USE OF LAND AFFECT THE LOT

- assist Purchasers in obtaining quotations/tenders for dwelling construction.
- This document does not form part of the Contract of Sale of the Land.

|  | <b>REVISION/S:</b> | HD16 STAGE 7 MARKETING r1      |
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|  | BY:                | HIGH DEFINITION DESIGN PTY LTD |

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TELSTRA /NBN

OVERHEAD POWER

P ----- UNDER GROUND POWER

Anticipated Site Classification - M Class

(to be confirmed at completion of construction)

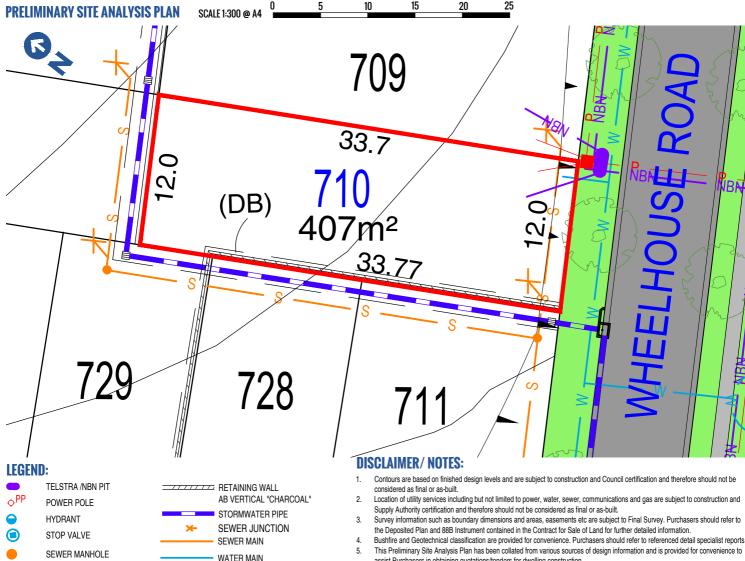
### LOT 710, WHEELHOUSE ROAD, TERALBA











(DA) EASEMENT TO DRAIN WATER 2 WIDE

(DB) RESTRICTION ON THE USE OF LAND 0.7 WIDE

- assist Purchasers in obtaining quotations/tenders for dwelling construction.
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| *************************************** |                    |                                |
|---|--------------------|--------------------------------|
|   | <b>REVISION/S:</b> | HD16 STAGE 7 MARKETING r1      |
|   | DATE:              | 23rd October 2017              |
|   | BY:                | HIGH DEFINITION DESIGN PTY LTD |

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RESTRICTIONS ON USE OF LAND AFFECT THE LOT

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TELSTRA /NBN

Anticipated Site Classification - M Class

(to be confirmed at completion of construction)

OVERHEAD POWER

UNDER GROUND POWER

۰LΡ

 $\mathbf{\overline{\mathbf{.}}}$ 

LIGHT POLE

KERB INLET PIT

STREET TREES

STORMWATER PIT

ELECTRICITY PILLAR

ELECTRICAL SUBSTATION

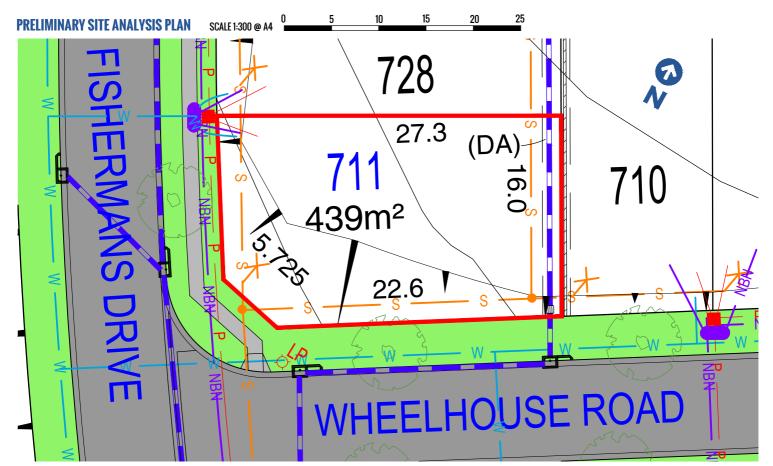
## LOT 711, FISHERMANS DRIVE, TERALBA











#### LEGEND:

|                 | TELSTRA /NBN P                |
|-----------------|-------------------------------|
| ¢ <sup>₽₽</sup> | POWER POLE                    |
| •               | HYDRANT                       |
| 0               | STOP VALVE                    |
|                 | SEWER MANHOL                  |
| ¢ <sup>LP</sup> | LIGHT POLE                    |
| <u> </u>        | KERB INLET PIT                |
|                 | STORMWATER F                  |
|                 | ELECTRICITY PIL               |
|                 |                               |
|                 | ELECTRICAL SU                 |
| 2000            | ELECTRICAL SU<br>STREET TREES |

| IBN PIT<br>LE | RETAINING WALL<br>AB VERTICAL "CHARCOAL"   |
|---------------|--|
| E             | SEWER JUNCTION   |
| NHOLE         | WATER MAIN TELSTRA /NBN  |
| T PIT         | OVERHEAD POWER   |
| ER PIT        | UNDER GROUND POWER   |
| TY PILLAR     | Anticipated Site Classification - M Class<br>(to be confirmed at completion of construction) |
| L SUBSTATION  | (DA) EAS   |

#### **DISCLAIMER/ NOTES:**

(DA) EASEMENT TO DRAIN WATER 2 WIDE

(DB) RESTRICTION ON THE USE OF LAND 0.7 WIDE

RESTRICTIONS ON USE OF LAND AFFECT THE LOT

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| 4 и п. |                                |  |
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| DATE:                                      | 23rd October 2017              |  |
| BY:  | HIGH DEFINITION DESIGN PTY LTD |  |



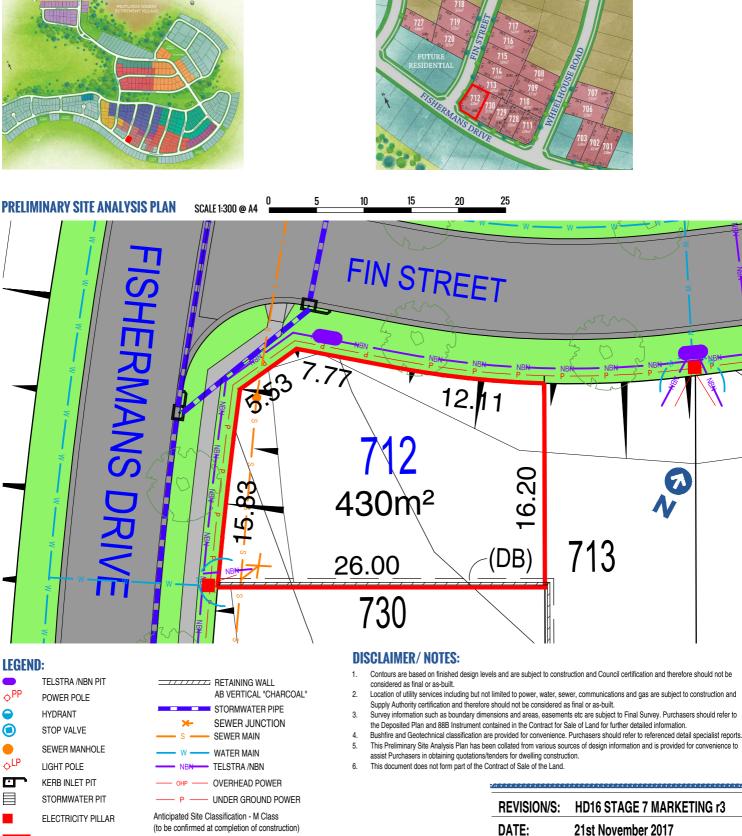


## LOT 712, FISHERMANS DRIVE, TERALBA

**MASTER PLAN** 

**STAGE PLAN** 





| tion of construction) |  |  |  |  |
|-----------------------|--|--|--|--|
|                       | (DA) EASEMENT TO DRAIN WATER 2 WIDE          |  |  |  |
|                       | (DB) RESTRICTION ON THE USE OF LAND 0.7 WIDE |  |  |  |
|                       | RESTRICTIONS ON USE OF LAND AFFECT THE LOT   |  |  |  |

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ELECTRICAL SUBSTATION

STREET TREES

# McCLOYGROUP

BY:



HIGH DEFINITION DESIGN PTY LTD

## LOT 713, FISHERMANS DRIVE, TERALBA





**STAGE PLAN** 



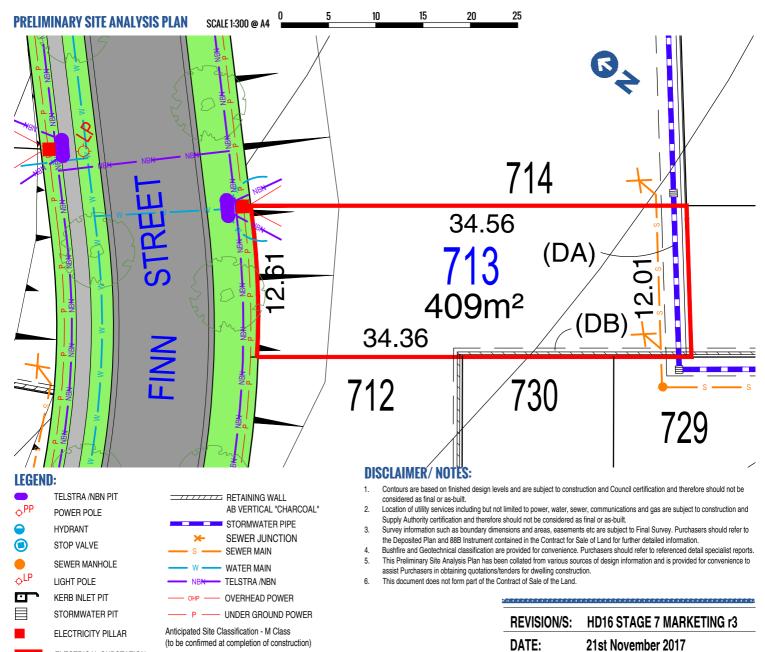
BY:

HIGH DEFINITION DESIGN PTY LTD

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|  | (DA) EASEMENT TO DRAIN WATER 2 WIDE          |  |  |  |
|--|--|--|--|--|
|  | (DB) RESTRICTION ON THE USE OF LAND 0.7 WIDE |  |  |  |
|  | RESTRICTIONS ON USE OF LAND AFFECT THE LOT   |  |  |  |

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ELECTRICAL SUBSTATION

STREET TREES

## LOT 714, FIN STREET, TERALBA



#### **MASTER PLAN**

STORMWATER PIT

ELECTRICITY PILLAR

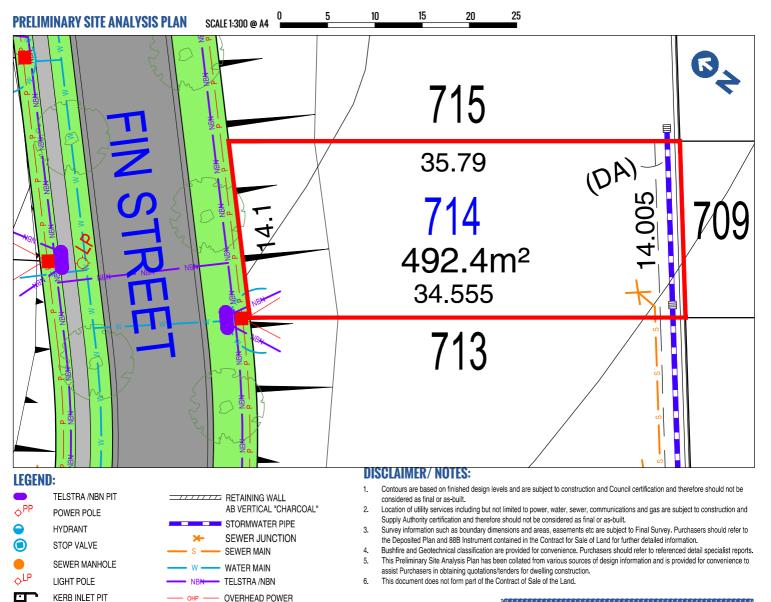
STREET TREES

ELECTRICAL SUBSTATION



**STAGE PLAN** 





(DA) EASEMENT TO DRAIN WATER 2 WIDE(DB) RESTRICTION ON THE USE OF LAND 0.7 WIDE

RESTRICTIONS ON USE OF LAND AFFECT THE LOT

REVISION/S: HD16 STAGE 7 MARKETING r1

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|-------------|--------------------------------|
| DATE:       | 27th JULY 2017                 |
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|             |                                |



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P ----- UNDER GROUND POWER

Anticipated Site Classification - M Class

(to be confirmed at completion of construction)

### LOT 715, FIN STREET, TERALBA

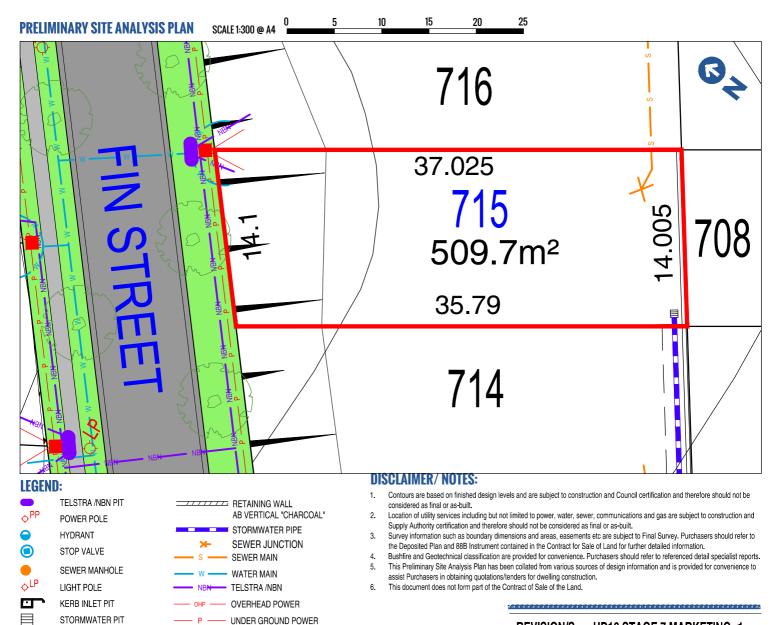






**STAGE PLAN** 





(DA) EASEMENT TO DRAIN WATER 2 WIDE (DB) RESTRICTION ON THE USE OF LAND 0.7 WIDE

RESTRICTIONS ON USE OF LAND AFFECT THE LOT

DEVICION/C. LID4C OTAOE 7 MADIZETINO "4

| REVISION/S: | HD 10 STAGE / MARKETING FI     |
|-------------|--------------------------------|
| DATE:       | 27th JULY 2017                 |
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P ----- UNDER GROUND POWER

Anticipated Site Classification - M Class

(to be confirmed at completion of construction)

STORMWATER PIT

STREET TREES

ELECTRICITY PILLAR

ELECTRICAL SUBSTATION

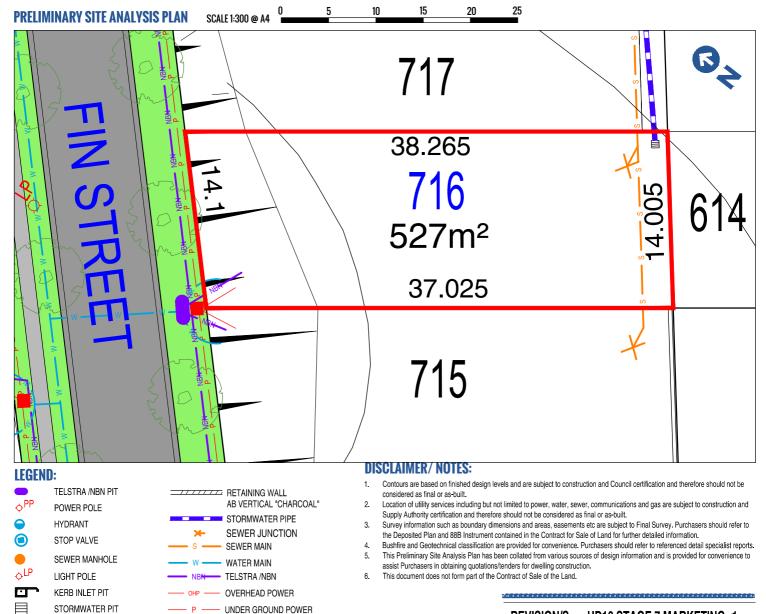
## LOT 716, FIN STREET, TERALBA





**STAGE PLAN** 





(DA) EASEMENT TO DRAIN WATER 2 WIDE (DB) RESTRICTION ON THE USE OF LAND 0.7 WIDE

RESTRICTIONS ON USE OF LAND AFFECT THE LOT

| <b>REVISION/S:</b> | HD16 STAGE 7 MARKETING r1      |
|--------------------|--------------------------------|
| DATE:              | 27th JULY 2017                 |
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P ----- UNDER GROUND POWER

Anticipated Site Classification - M Class

(to be confirmed at completion of construction)

STORMWATER PIT

ELECTRICITY PILLAR

STREET TREES

ELECTRICAL SUBSTATION

## LOT 717, FIN STREET, TERALBA

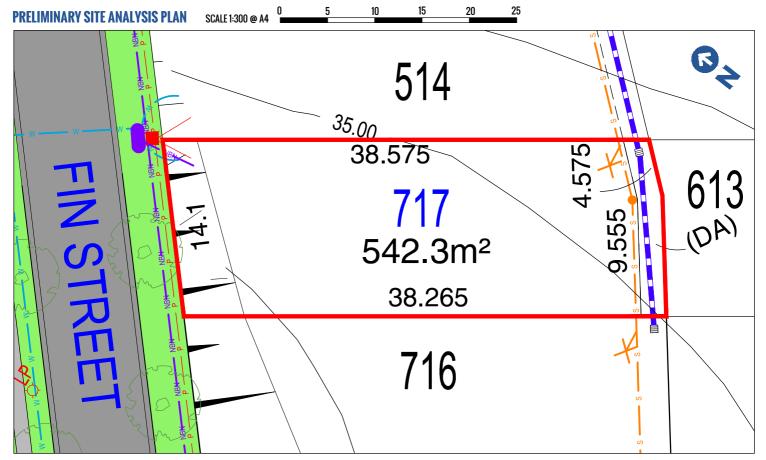


### MASTER PLAN

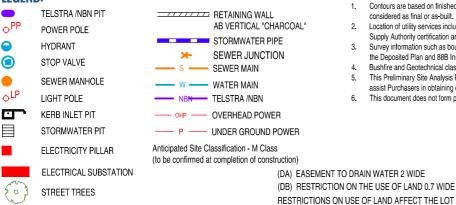


**STAGE PLAN** 





#### LEGEND:



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| BY:   | HIGH DEFINITION DESIGN PTY LTD |
|-------|--------------------------------|
| DATE: | 27th JULY 2017                 |



## LOT 718, FIN STREET, TERALBA



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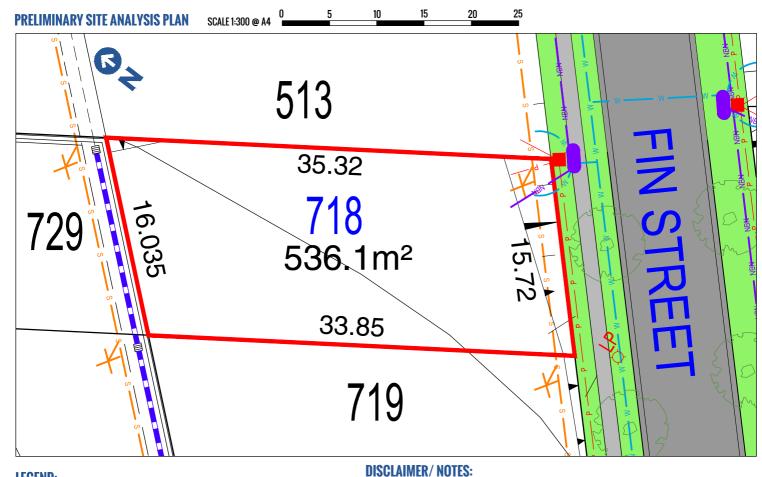
McCLOYGROUP



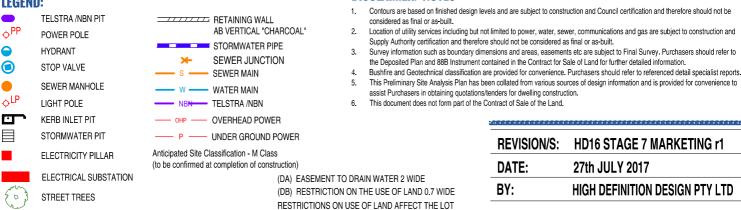
**STAGE PLAN** 







#### **LEGEND**:



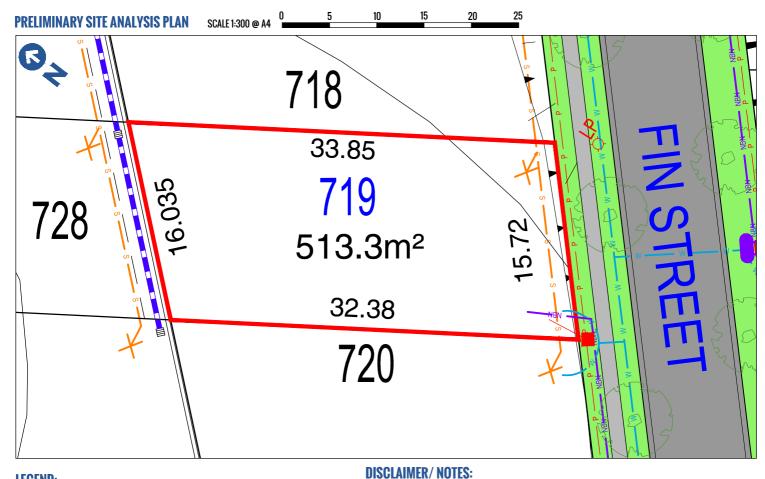
## LOT 719, FIN STREET, TERALBA



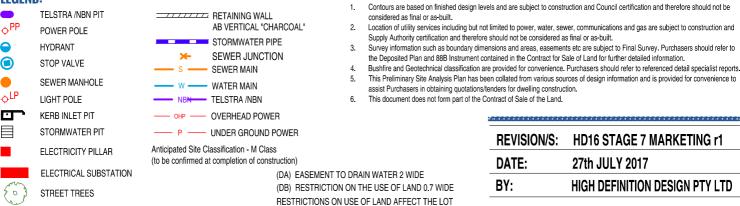


**STAGE PLAN** 





#### **LEGEND**:



| <b>REVISION/S:</b> | HD16 STAGE 7 MARKETING r1      |  |
|--------------------|--------------------------------|--|
| DATE:              | 27th JULY 2017                 |  |
| BY:                | HIGH DEFINITION DESIGN PTY LTD |  |



## LOT 720, FIN STREET, TERALBA

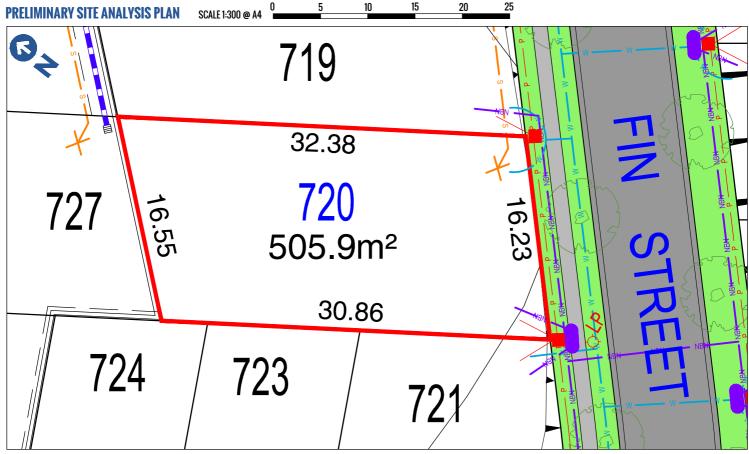




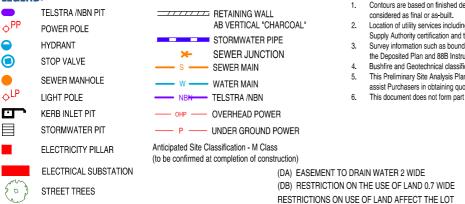








#### **LEGEND**:

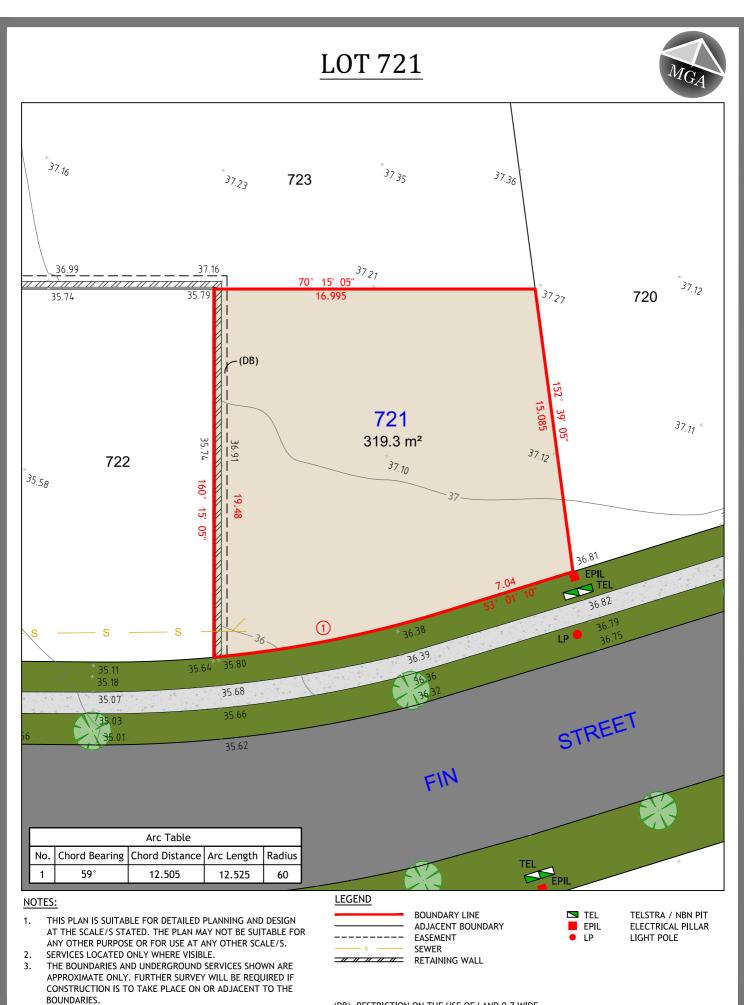


#### **DISCLAIMER/ NOTES:**

- Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be 1.
- Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and Supply Authority certification and therefore should not be considered as final or as-built.
- Survey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to the Deposited Plan and 88B Instrument contained in the Contract for Sale of Land for further detailed information.
- Bushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports. This Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to
- assist Purchasers in obtaining quotations/tenders for dwelling construction.
- This document does not form part of the Contract of Sale of the Land.

| -<br>************************************ |                                |  |  |
|---|--------------------------------|--|--|
| <b>REVISION/S:</b>                        | HD16 STAGE 7 MARKETING r1      |  |  |
| DATE:                                     | 27th JULY 2017                 |  |  |
| BY:                                       | HIGH DEFINITION DESIGN PTY LTD |  |  |





<sup>(</sup>DB) RESTRICTION ON THE USE OF LAND 0.7 WIDE



UNIT 7A 26 BALOOK DRIVE, BERESFIELD NSW 2322 Phone: 02 4964 4886

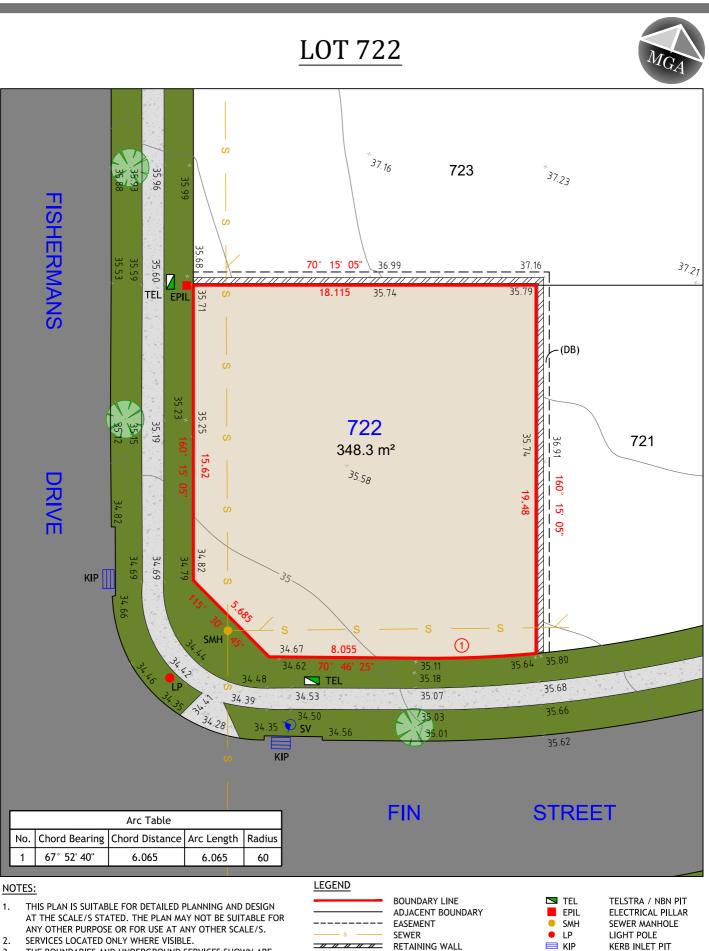
ASCELLES CONSULTING SURVEYORS Date:

AHD 19/03/18 1:200 A4

161

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1



2. SERVICES LOCATED ONLY WHERE VISIBLE. 3. THE BOUNDARIES AND UNDERGROUND SERVICES SHOWN ARE APPROXIMATE ONLY. FURTHER SURVEY WILL BE REQUIRED IF CONSTRUCTION IS TO TAKE PLACE ON OR ADJACENT TO THE BOUNDARIES.



UNIT 7A 26 BALOOK DRIVE, BERESFIELD NSW 2322 Phone: 02 4964 4886



RETAINING WALL

(DB) RESTRICTION ON THE USE OF LAND 0.7 WIDE AHD 19/03/18 1:200 A4

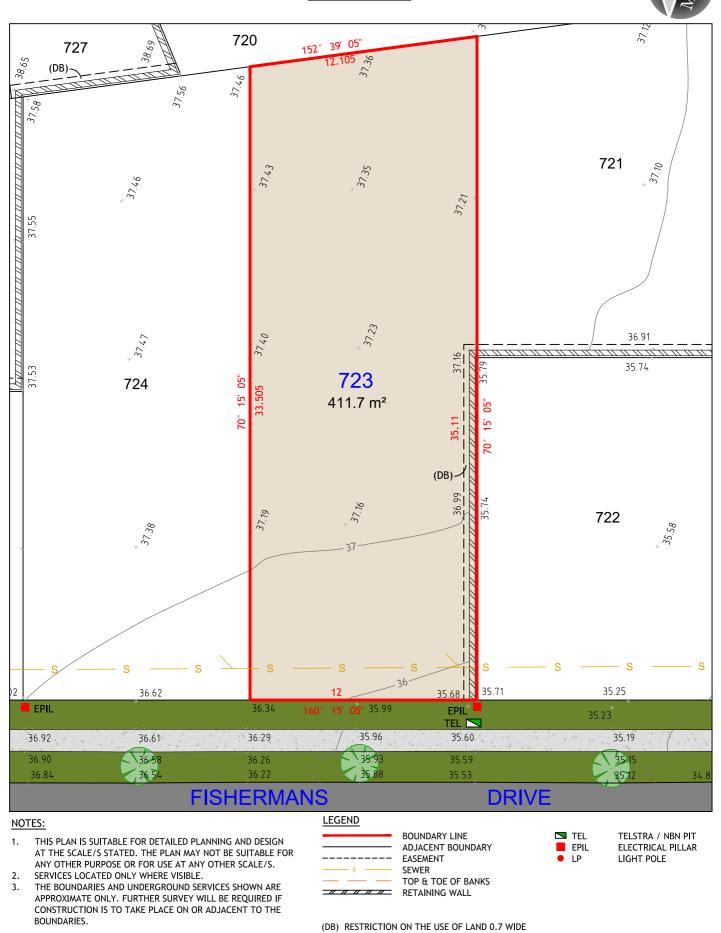
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KERB INLET PIT

STOP VALVE

### LOT 723



BILLY

UNIT 7A 26 BALOOK DRIVE, BERESFIELD NSW 2322 Phone: 02 4964 4886



Datum: Date:

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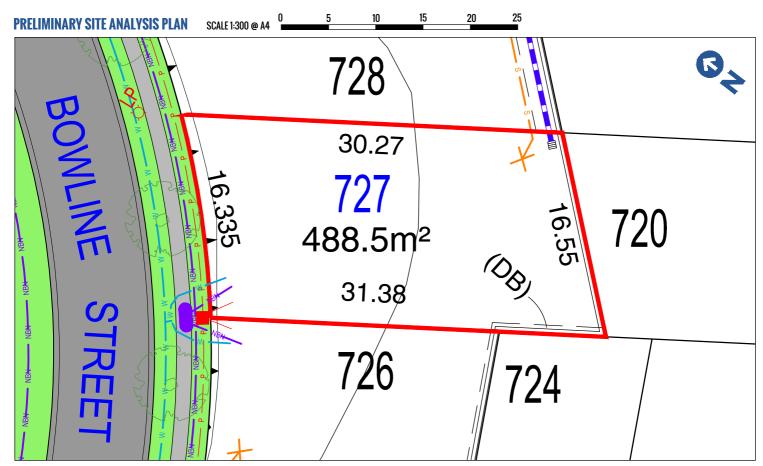
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## LOT 727, BOWLINE STREET, TERALBA









#### LEGEND:

| LEGENI           |                       |  |       |   |
|------------------|-----------------------|--|-------|---|
|                  | TELSTRA /NBN PIT      |  | 1.    | Contours are based on finished considered as final or as-built.           |
| .⇔ <sup>PP</sup> | POWER POLE            | AB VERTICAL "CHARCOAL"   | 2.    | Location of utility services includ<br>Supply Authority certification and |
| $\bigcirc$       | HYDRANT               | STORMWATER PIPE  | 3.    | Survey information such as bour   |
|                  | STOP VALVE            | Sewer Jone Ton   | 4.    | the Deposited Plan and 88B Inst<br>Bushfire and Geotechnical class        |
| •                | SEWER MANHOLE         |  | 5.    | This Preliminary Site Analysis Pl<br>assist Purchasers in obtaining qu    |
| ф <sup>LP</sup>  | LIGHT POLE            | NBN TELSTRA /NBN   | 6.    | This document does not form pa  |
| G                | KERB INLET PIT        | OVERHEAD POWER   |       |   |
|                  | STORMWATER PIT        | P UNDER GROUND POWER   |       |   |
|                  | ELECTRICITY PILLAR    | Anticipated Site Classification - M Class<br>(to be confirmed at completion of construction) |       |   |
|                  | ELECTRICAL SUBSTATION | (DA) EASEMENT T  | O DRA | N WATER 2 WIDE  |
| 20 mg            | STREET TREES          |  |       | HE USE OF LAND 0.7 WIDE<br>OF LAND AFFECT THE LOT                         |

#### **DISCLAIMER/ NOTES:**

- 1. Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be considered as final or as-built.
- Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and Supply Authority certification and therefore should not be considered as final or as-built.
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- Bushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports.
   This Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to
- assist Purchasers in obtaining quotations/tenders for dwelling construction.
- This document does not form part of the Contract of Sale of the Land.

REVISION/S:HD16 STAGE 7 MARKETING r1DATE:27th JULY 2017BY:HIGH DEFINITION DESIGN PTY LTD

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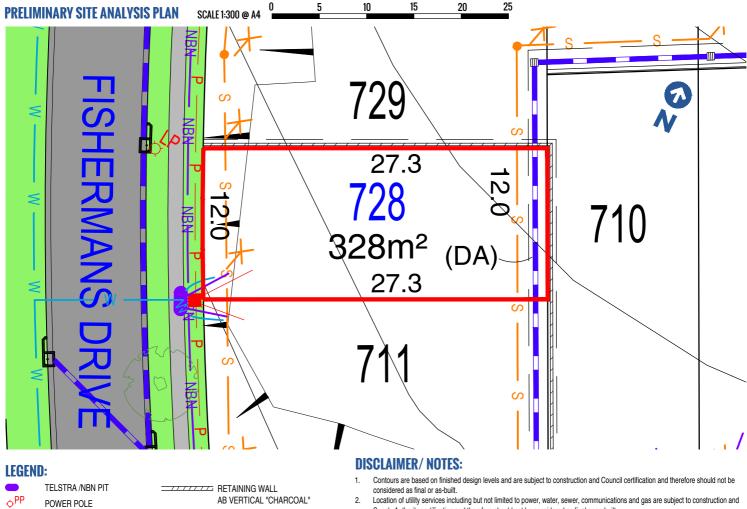
## LOT 728, FISHERMANS DRIVE, TERALBA











(DA) EASEMENT TO DRAIN WATER 2 WIDE (DB) RESTRICTION ON THE USE OF LAND 0.7 WIDE

RESTRICTIONS ON USE OF LAND AFFECT THE LOT

|                 | TELSTRA /NBN PIT      | RETAINING WALL   |
|-----------------|-----------------------|--|
| ¢ <sup>PP</sup> | POWER POLE            | AB VERTICAL "CHARCOAL"   |
| $\bigcirc$      | HYDRANT               | STORMWATER PIPE  |
|                 | STOP VALVE            | SEWER JUNCTION   |
| •               | SEWER MANHOLE         | WATER MAIN   |
| ф <sup>LP</sup> | LIGHT POLE            | TELSTRA /NBN   |
|                 | KERB INLET PIT        | OVERHEAD POWER   |
|                 | STORMWATER PIT        | UNDER GROUND POWER   |
|                 | ELECTRICITY PILLAR    | Anticipated Site Classification - M Class<br>(to be confirmed at completion of construction) |
|                 | ELECTRICAL SUBSTATION | (DA) EAS   |
| 503             | STREET TREES          | (DB) RES   |

- considered as final or as-built.
- 2 Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and Supply Authority certification and therefore should not be considered as final or as-built.
- Survey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to 3. the Deposited Plan and 88B Instrument contained in the Contract for Sale of Land for further detailed information.
- Λ Bushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports
- This Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to 5. assist Purchasers in obtaining quotations/tenders for dwelling construction.
- 6 This document does not form part of the Contract of Sale of the Land.

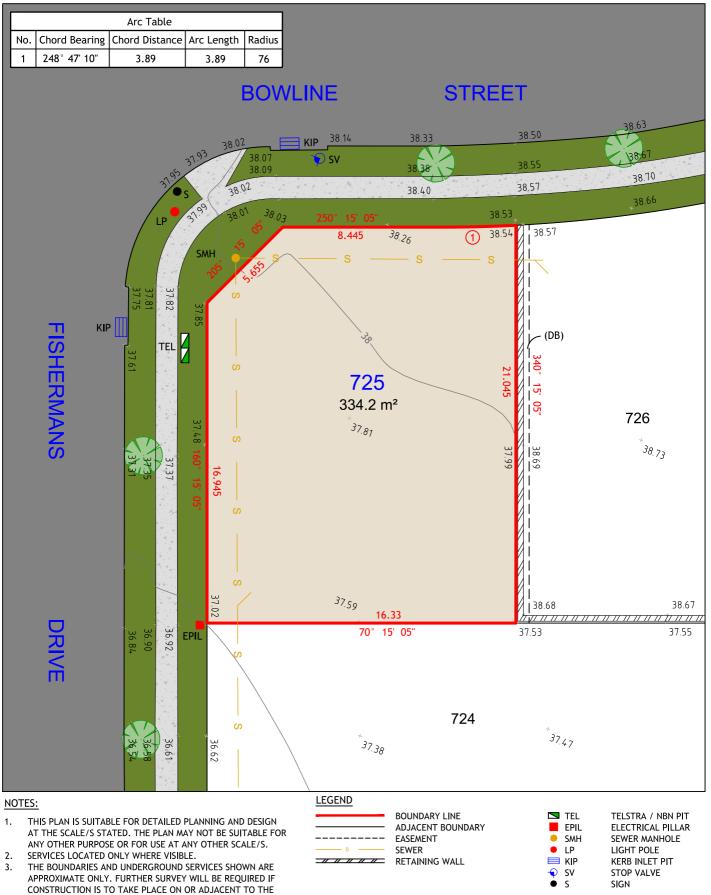
| *************************************** |                    |                                 |
|---|--------------------|---------------------------------|
|   | <b>REVISION/S:</b> | HD16 STAGE 7 MARKETING r1       |
|   | DATE:              | 23rd October 2017               |
|   | BY                 | HIGH DEFINITION DESIGN PTY I TD |

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## LOT 725





(DB) RESTRICTION ON THE USE OF LAND 0.7 WIDE



BOUNDARIES.

UNIT 7A 26 BALOOK DRIVE, BERESFIELD NSW 2322 Phone: 02 4964 4886



Ref: 17161 - SALE um: AHD 2: 19/03/18 e: 1:200 A4 Project No 17161 Drawing No Re 1

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### LOT 726



BILLY

26 BALOOK DRIVE, BERESFIELD NSW 2322 Phone: 02 4964 4886

ASCELLES CONSULTING SURVEYORS AHD 19/03/18 1:200 A4



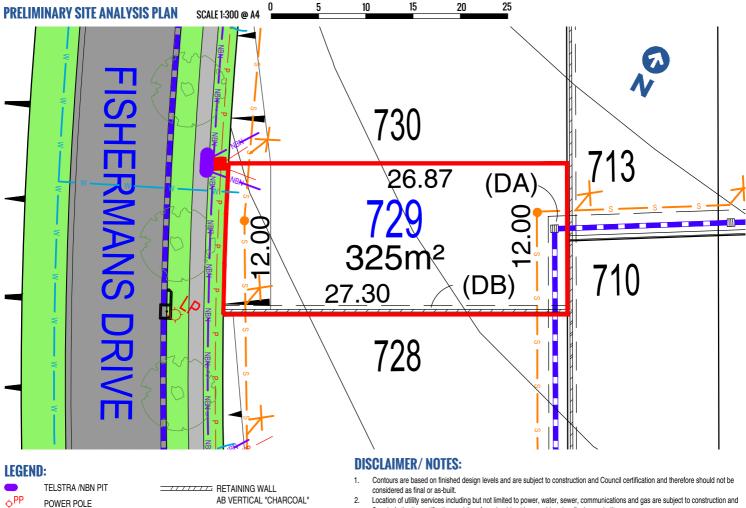
## LOT 729, FISHERMANS DRIVE, TERALBA











(DA) EASEMENT TO DRAIN WATER 2 WIDE(DB) RESTRICTION ON THE USE OF LAND 0.7 WIDE

RESTRICTIONS ON USE OF LAND AFFECT THE LOT

#### Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and Supply Authority certification and therefore should not be considered as final or as-built. Survey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to

- Survey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to the Deposited Plan and 88B Instrument contained in the Contract for Sale of Land for further detailed information.
- Bushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports.
   This Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to
- assist Purchasers in obtaining quotations/tenders for dwelling construction.
- 6. This document does not form part of the Contract of Sale of the Land.

| *************************************** |                                |  |  |  |
|---|--------------------------------|--|--|--|
| <b>REVISION/S:</b>                      | HD16 STAGE 7 MARKETING r3      |  |  |  |
| DATE:                                   | 21st November 2017             |  |  |  |
| BY:                                     | HIGH DEFINITION DESIGN PTY LTD |  |  |  |



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HYDRANT

STOP VALVE

LIGHT POLE

KERB INLET PIT

STREET TREES

STORMWATER PIT

ELECTRICITY PILLAR

ELECTRICAL SUBSTATION

SEWER MANHOLE

STORMWATER PIPE

SEWER JUNCTION

SEWER MAIN

WATER MAIN

TELSTRA /NBN

P ----- UNDER GROUND POWER

OHP ---- OVERHEAD POWER

Anticipated Site Classification - M Class

(to be confirmed at completion of construction)

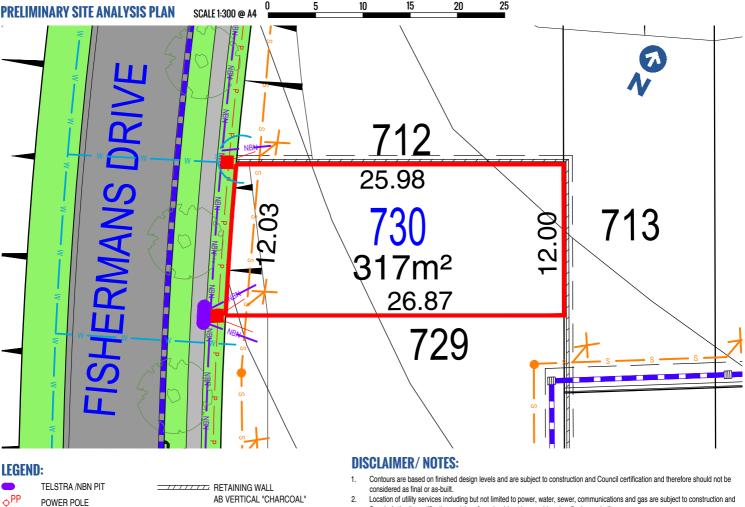
## LOT 730, FISHERMANS DRIVE, TERALBA











RESTRICTIONS ON USE OF LAND AFFECT THE LOT

|                 | TELSTRA /NBN PIT      | RETAINING WALL   | 1.       | considered as final or as-built.   |
|-----------------|-----------------------|--|----------|--|
| фPP             | POWER POLE            | AB VERTICAL "CHARCOAL"   | 2.       | Location of utility services includi   |
|                 | HYDRANT<br>STOP VALVE | SEWER JUNCTION   | 3.<br>4. | Supply Authority certification and<br>Survey information such as bour<br>the Deposited Plan and 88B Inst<br>Bushfire and Geotechnical classi |
| •               | SEWER MANHOLE         |  | 5.       | This Preliminary Site Analysis Pla<br>assist Purchasers in obtaining qu  |
| ф <sup>LP</sup> | LIGHT POLE            | NBN TELSTRA /NBN   | 6.       | This document does not form part   |
|                 | KERB INLET PIT        | OVERHEAD POWER   |          |  |
|                 | STORMWATER PIT        | P UNDER GROUND POWER   |          |  |
| •               | ELECTRICITY PILLAR    | Anticipated Site Classification - M Class<br>(to be confirmed at completion of construction) |          |  |
|                 | ELECTRICAL SUBSTATION | (DA) EASEMENT T  | O DRA    | IN WATER 2 WIDE  |
| 503             | STREET TREES          |  |          | HE USE OF LAND 0.7 WIDE  |

- 2 Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and Supply Authority certification and therefore should not be considered as final or as-built.
- Survey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to 3. the Deposited Plan and 88B Instrument contained in the Contract for Sale of Land for further detailed information.
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| *************************************** |                    |                                |
|---|--------------------|--------------------------------|
|   | <b>REVISION/S:</b> | HD16 STAGE 7 MARKETING r3      |
|   | DATE:              | 21st November 2017             |
|   | BY:                | HIGH DEFINITION DESIGN PTY LTD |

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