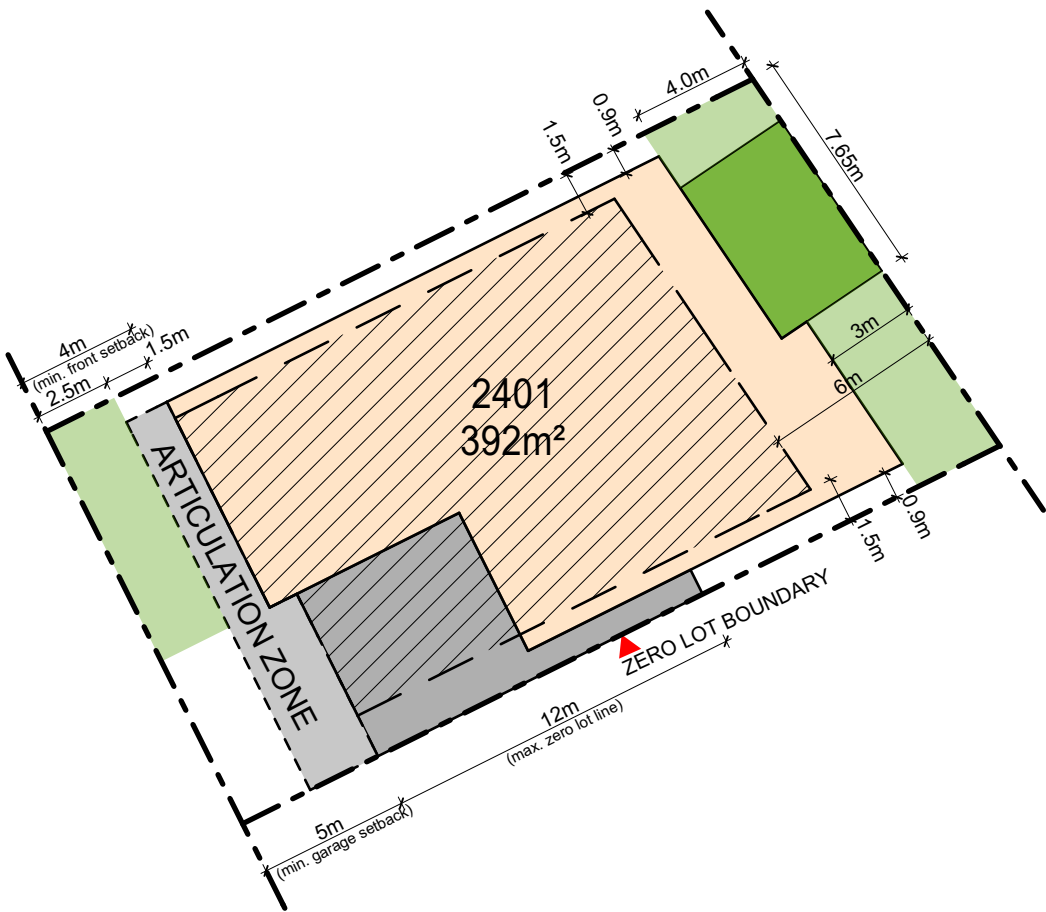


Typical 2 Storey House Diagram

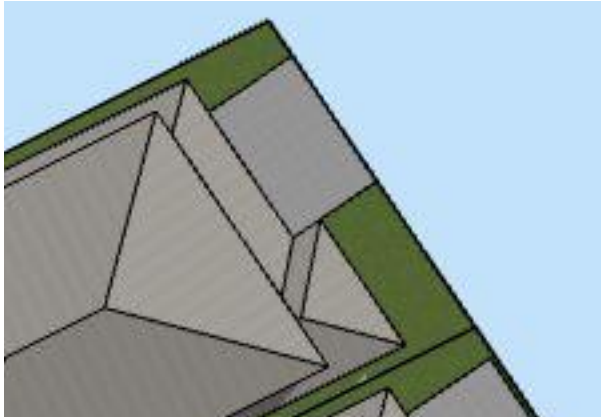
- Notes:
1. This drawing and future dwelling designs to be read in conjunction with LMDCP 2014, with particular reference to Part 3, Part 8 and Section 9.19
  2. The envelopes depicted indicate the bounds to which any future development should be located within
  3. Zero lot boundary preference has been given towards the western elevation
  4. In accordance with Section 19.1.4 of the LMDCP double garages have only been depicted for lots with street frontages equal to or greater than 12.0m as measured at the building line
  5. Building footprint including zero lot lines may be mirrored depending on lot orientation, levels & building layout

Generic setback diagram only. Refer site specific plans for setbacks that include provisions for min. DCP solar access into private open space

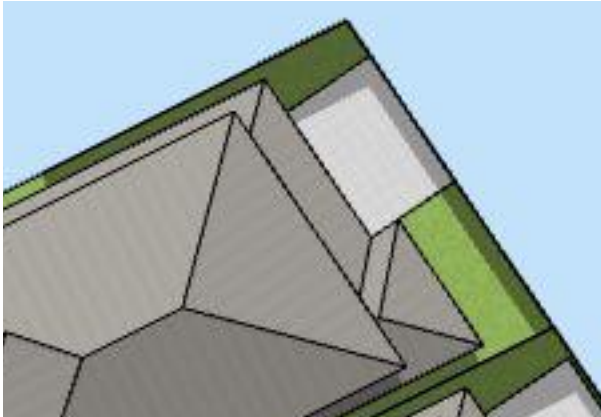
Private open space can be sited in alternate locations provided compliance with LMDCP 2014 is maintained (including solar access to private open space)



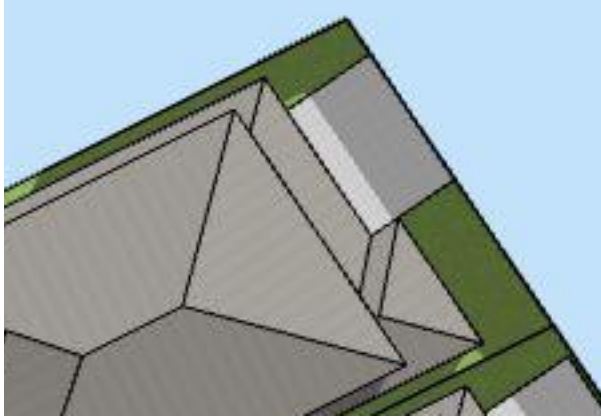
- Legend**
- Ground Level
  - First Level
  - Preferred Garage Location
  - Minimum Open Space (6m x 4m)
  - Landscape Area > 15% of site area
  - Articulation Zone (max. 1.5m encroachment into front setback for max. 50% of building width)



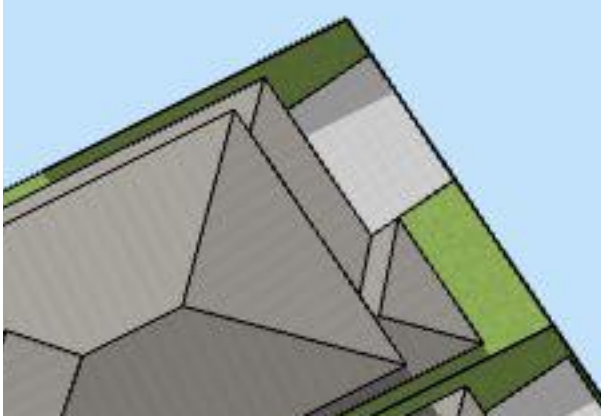
June 21st - 9am



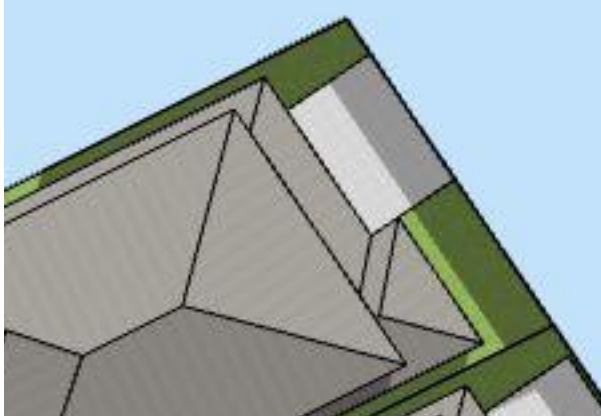
June 21st - 1pm



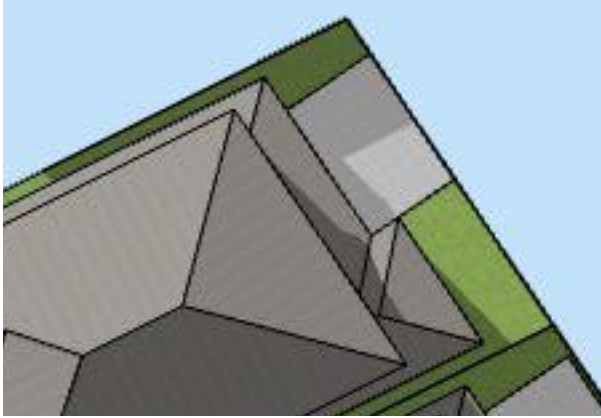
June 21st - 10am



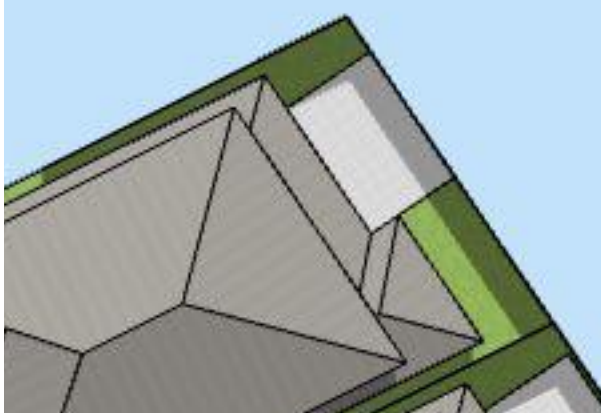
June 21st - 2pm



June 21st - 11am



June 21st - 3pm



June 21st - 12pm

**50% SOLAR ACCESS REQUIREMENTS ON 22nd JUNE**

9am	No
10am	No
11am	Yes
12pm	Yes
1pm	Yes
2pm	Yes
3pm	No

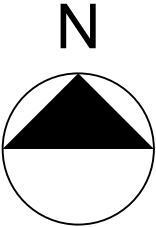
**Landscape Requirements**

	Lot Area	Min. 15% Required	Landscape Area Required
Lot 1801	392m²	59m²	Yes

- Notes:
- This drawing and future dwelling designs to be read in conjunction with LMDCP 2014, with particular reference to Part 3, Part 8 and Section 9.19
  - The envelopes depicted indicate the bounds to which any future development should be located within
  - Zero lot boundary preference has been given towards the western elevation
  - In accordance with Section 19.1.4 of the LMDCP double garages have only been depicted for lots with street frontages equal to or greater than 12.0m as measured at the building line
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Drawing Title	Lot 1801
Job Number	160
Drawing Number	SK01
Issue	01

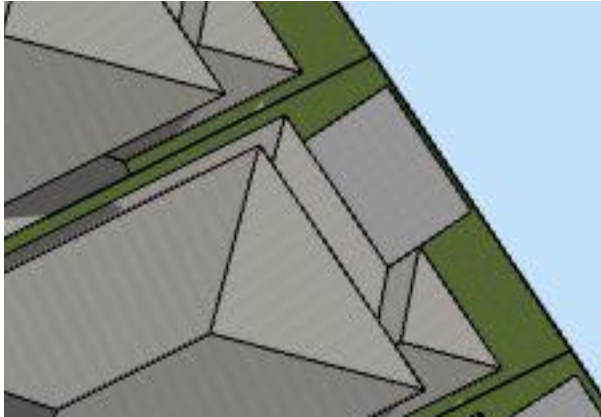
Client	McCloy Group
Project	Billys Lookout Lots 25-38



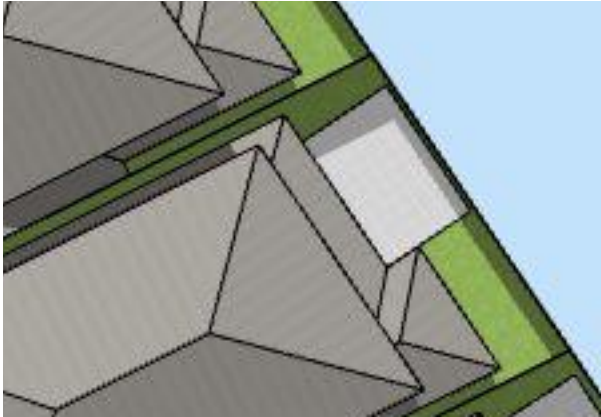




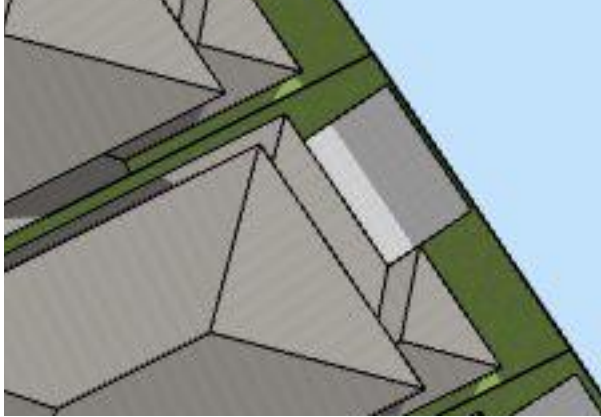
- Legend**
- Ground Level
  - First Level
  - Preferred Garage Location
  - Minimum Open Space (6m x 4m)
  - Landscape Area > 15% of site area
  - Articulation Zone (max. 1.5m encroachment into front setback for max. 50% of building width)



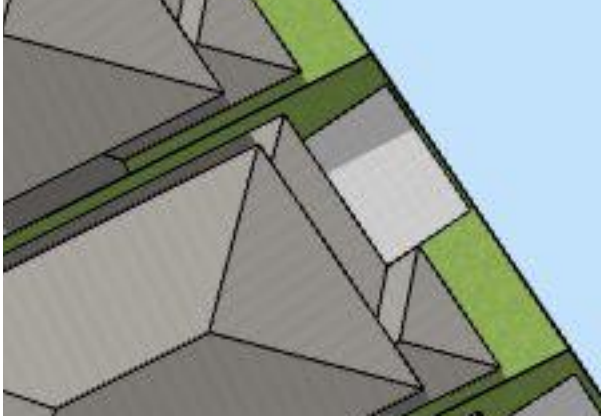
June 21st - 9am



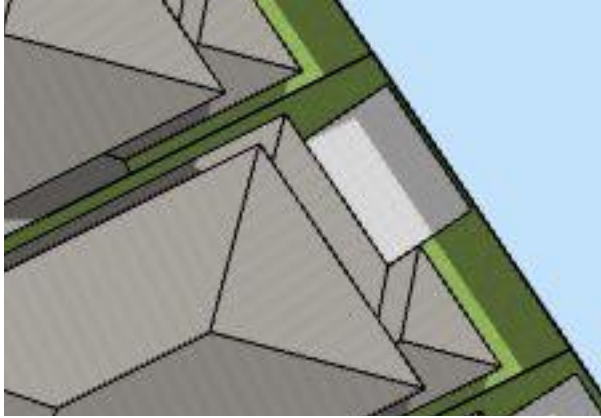
June 21st - 1pm



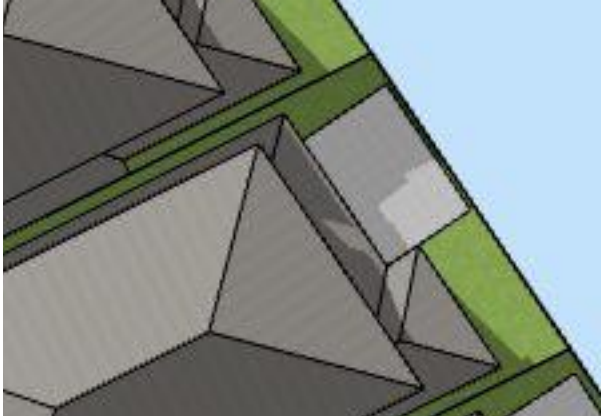
June 21st - 10am



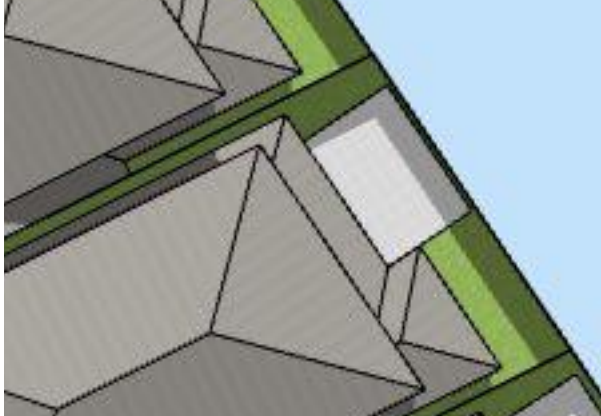
June 21st - 2pm



June 21st - 11am



June 21st - 3pm



June 21st - 12pm

**50% SOLAR ACCESS REQUIREMENTS ON 22nd JUNE**

9am	No
10am	No
11am	Yes
12pm	Yes
1pm	Yes
2pm	Yes
3pm	No

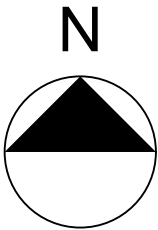
**Landscape Requirements**

	Lot Area	Min. 15% Required	Landscape Area Required
Lot 1802	405m²	61m²	Yes

- Notes:
- This drawing and future dwelling designs to be read in conjunction with LMDCP 2014, with particular reference to Part 3, Part 8 and Section 9.19
  - The envelopes depicted indicate the bounds to which any future development should be located within
  - Zero lot boundary preference has been given towards the western elevation
  - In accordance with Section 19.1.4 of the LMDCP double garages have only been depicted for lots with street frontages equal to or greater than 12.0m as measured at the building line
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Drawing Title	Lot 1802
Job Number	160
Drawing Number	SK02
Issue	01

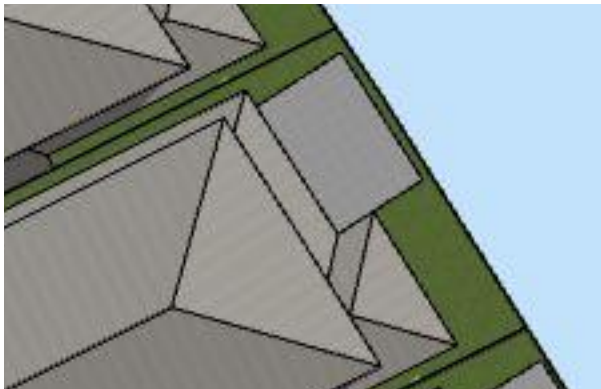
Client	McCloy Group
Project	Billys Lookout Lots 25-38



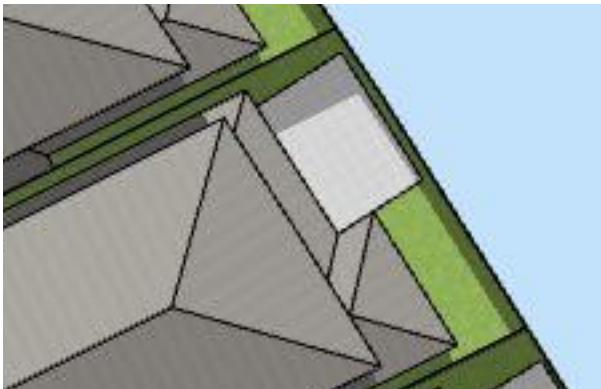




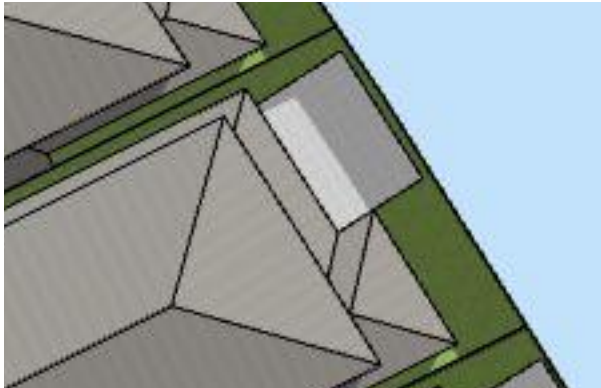
- Legend**
- Ground Level
  - First Level
  - Preferred Garage Location
  - Minimum Open Space (6m x 4m)
  - Landscape Area > 15% of site area
  - Articulation Zone (max. 1.5m encroachment into front setback for max. 50% of building width)



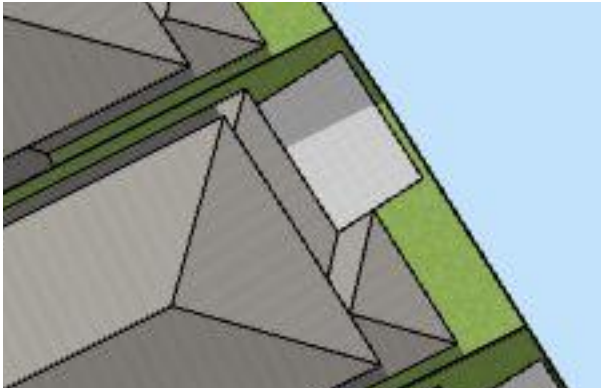
June 21st - 9am



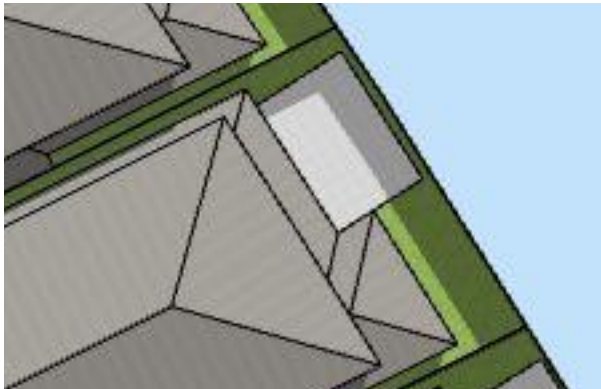
June 21st - 1pm



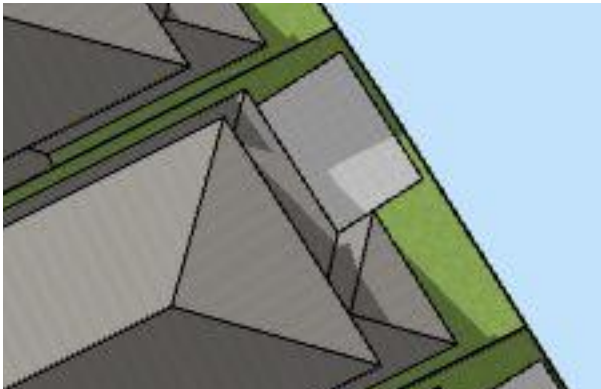
June 21st - 10am



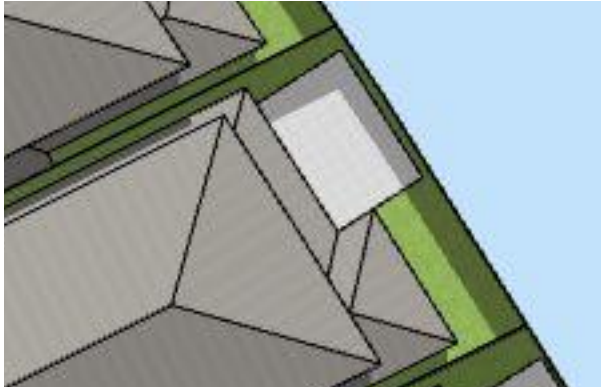
June 21st - 2pm



June 21st - 11am



June 21st - 3pm



June 21st - 12pm

**50% SOLAR ACCESS REQUIREMENTS ON 22nd JUNE**

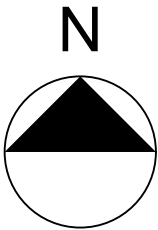
9am	No
10am	No
11am	Yes
12pm	Yes
1pm	Yes
2pm	Yes
3pm	No

**Landscape Requirements**

	Lot Area	Min. 15% Required	Landscape Area Required
Lot 1803	427m²	64m²	Yes

- Notes:
- This drawing and future dwelling designs to be read in conjunction with LMDCP 2014, with particular reference to Part 3, Part 8 and Section 9.19
  - The envelopes depicted indicate the bounds to which any future development should be located within
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  - In accordance with Section 19.1.4 of the LMDCP double garages have only been depicted for lots with street frontages equal to or greater than 12.0m as measured at the building line
  - Building footprint including zero lot lines may be mirrored depending on lot orientation, levels & building layout

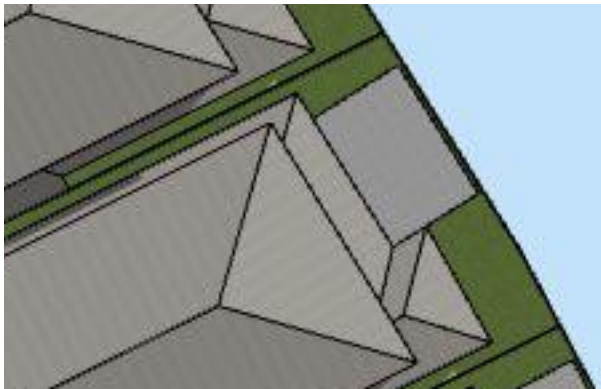
Private open space can be sited in alternate locations provided compliance with LMDCP 2014 is maintained (including solar access to private open space)



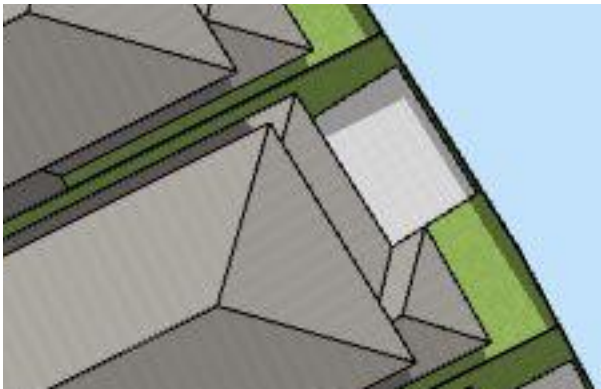


**Legend**

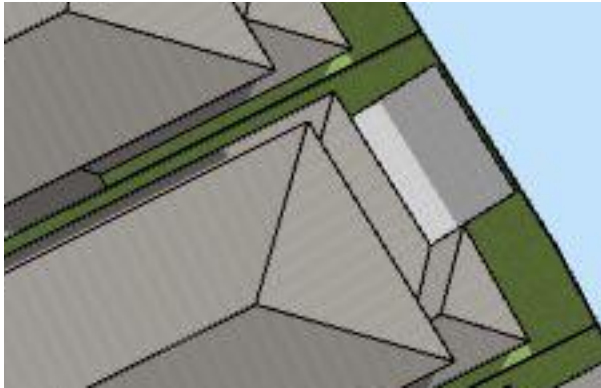
- Ground Level
- First Level
- Preferred Garage Location
- Minimum Open Space (6m x 4m)
- Landscape Area > 15% of site area
- Articulation Zone (max. 1.5m encroachment into front setback for max. 50% of building width)



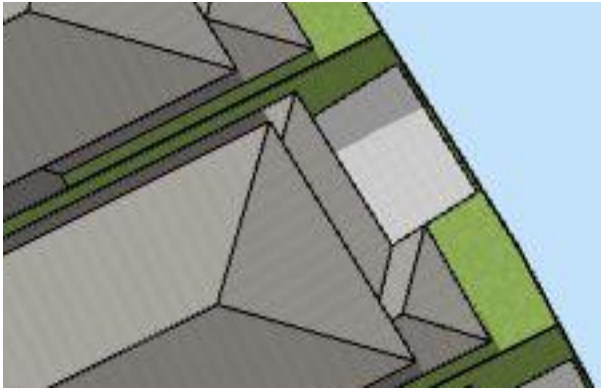
June 21st - 9am



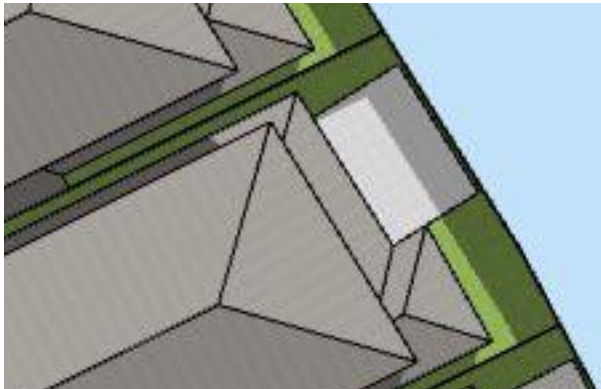
June 21st - 1pm



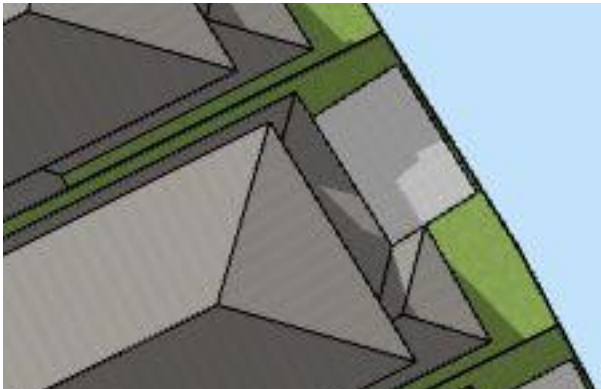
June 21st - 10am



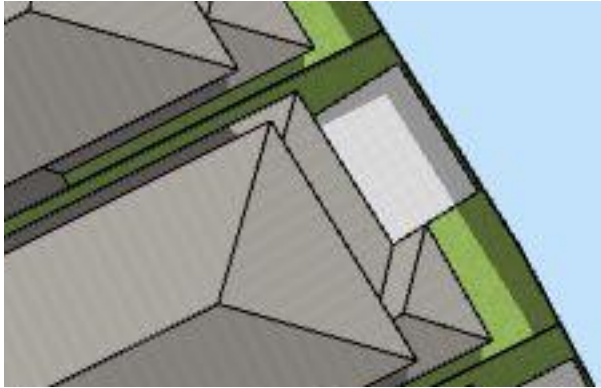
June 21st - 2pm



June 21st - 11am



June 21st - 3pm



June 21st - 12pm

50% SOLAR ACCESS REQUIREMENTS ON 22nd JUNE

9am	No
10am	No
11am	Yes
12pm	Yes
1pm	Yes
2pm	Yes
3pm	No

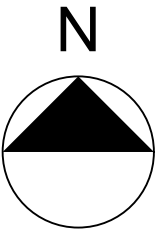
Landscape Requirements

	Lot Area	Min. 15% Required	Landscape Area Required
Lot 1804	430m²	65m²	Yes

- Notes:
1. This drawing and future dwelling designs to be read in conjunction with LMDCP 2014, with particular reference to Part 3, Part 8 and Section 9.19
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Drawing Title  
Lot 1804

Job Number  
160

Drawing Number  
SK04

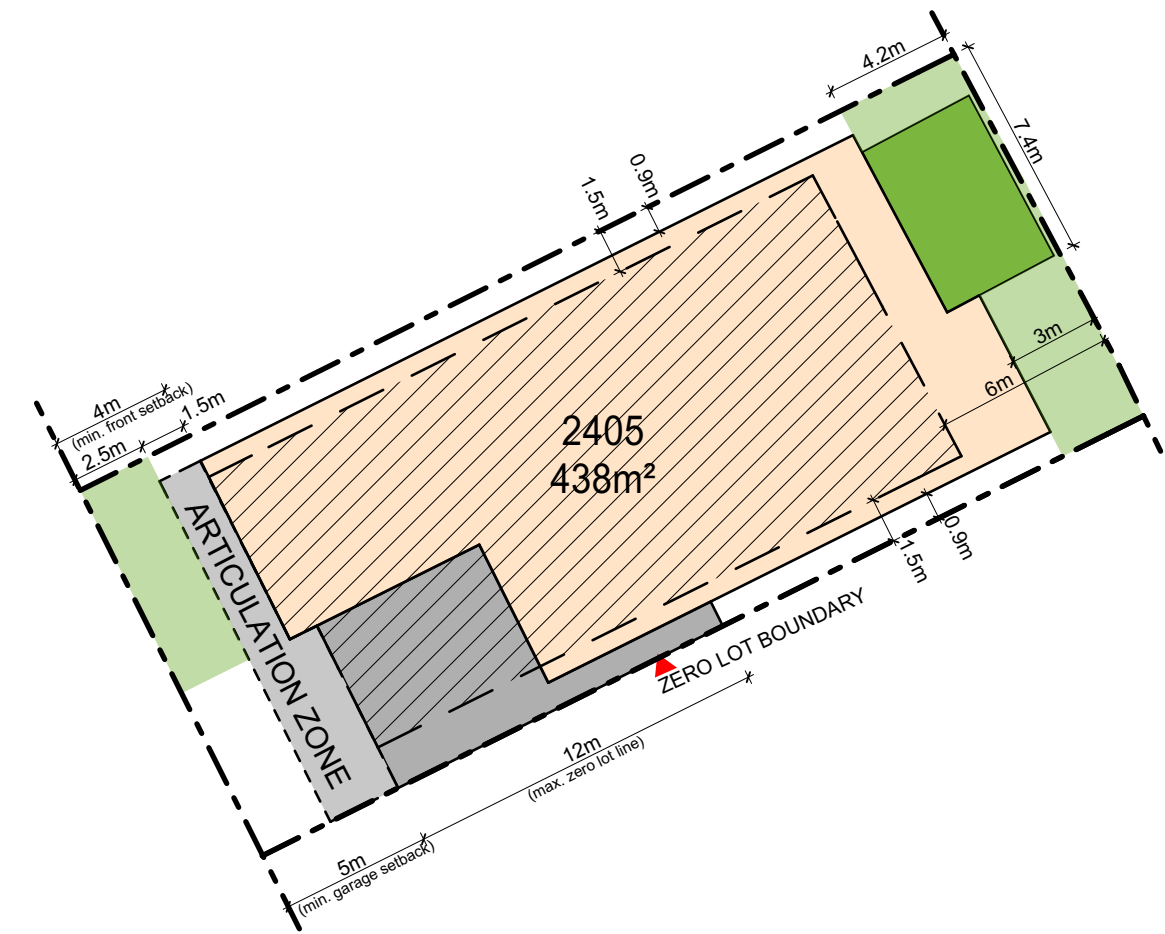
Issue  
01

Client  
McCloy Group

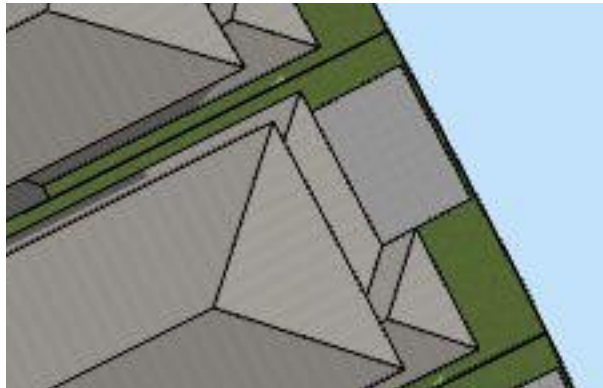
Project  
Billys Lookout  
Lots 25-38



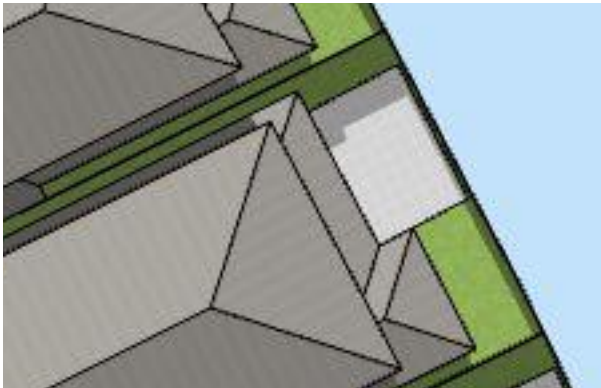




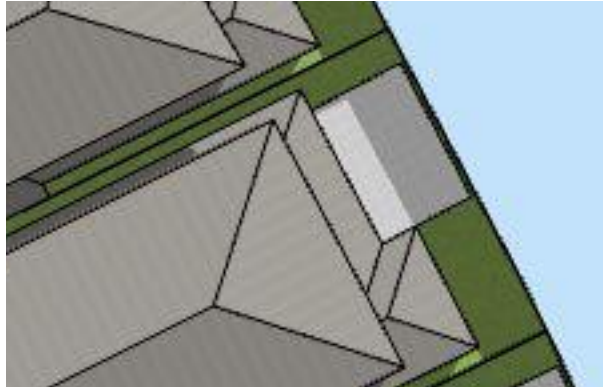
- Legend**
- Ground Level
  - First Level
  - Preferred Garage Location
  - Minimum Open Space (6m x 4m)
  - Landscape Area > 15% of site area
  - Articulation Zone (max. 1.5m encroachment into front setback for max. 50% of building width)



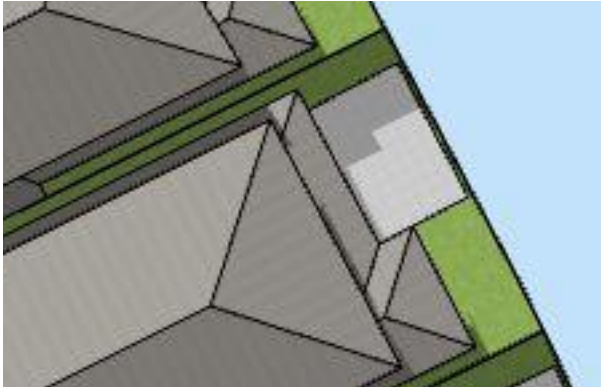
June 21st - 9am



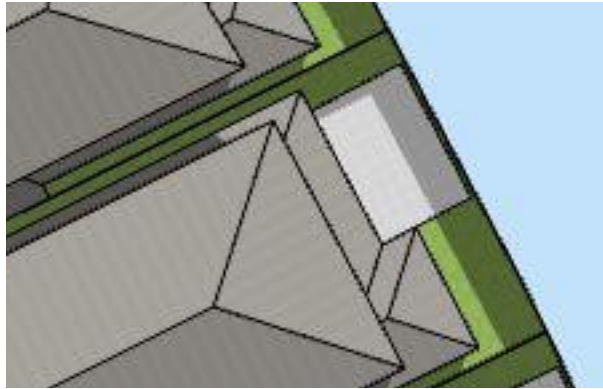
June 21st - 1pm



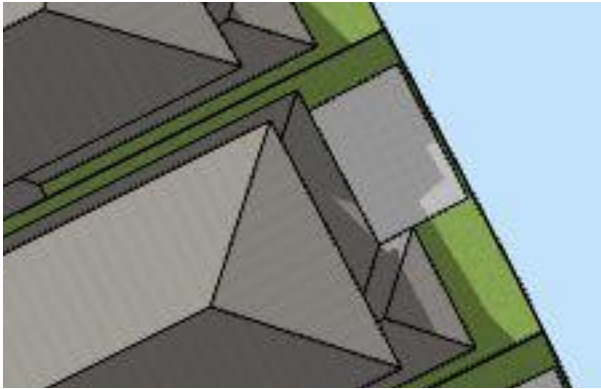
June 21st - 10am



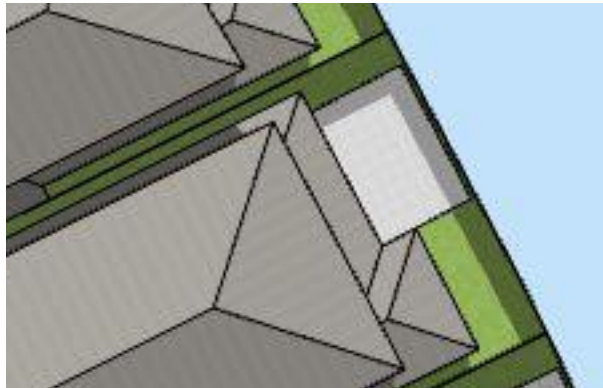
June 21st - 2pm



June 21st - 11am



June 21st - 3pm



June 21st - 12pm

**50% SOLAR ACCESS REQUIREMENTS ON 22nd JUNE**

9am	No
10am	No
11am	Yes
12pm	Yes
1pm	Yes
2pm	Yes
3pm	No

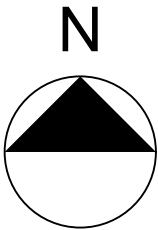
**Landscape Requirements**

	Lot Area	Min. 15% Required	Landscape Area Required
Lot 1805	438m²	65m²	Yes

- Notes:
- This drawing and future dwelling designs to be read in conjunction with LMDCP 2014, with particular reference to Part 3, Part 8 and Section 9.19
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  - In accordance with Section 19.1.4 of the LMDCP double garages have only been depicted for lots with street frontages equal to or greater than 12.0m as measured at the building line
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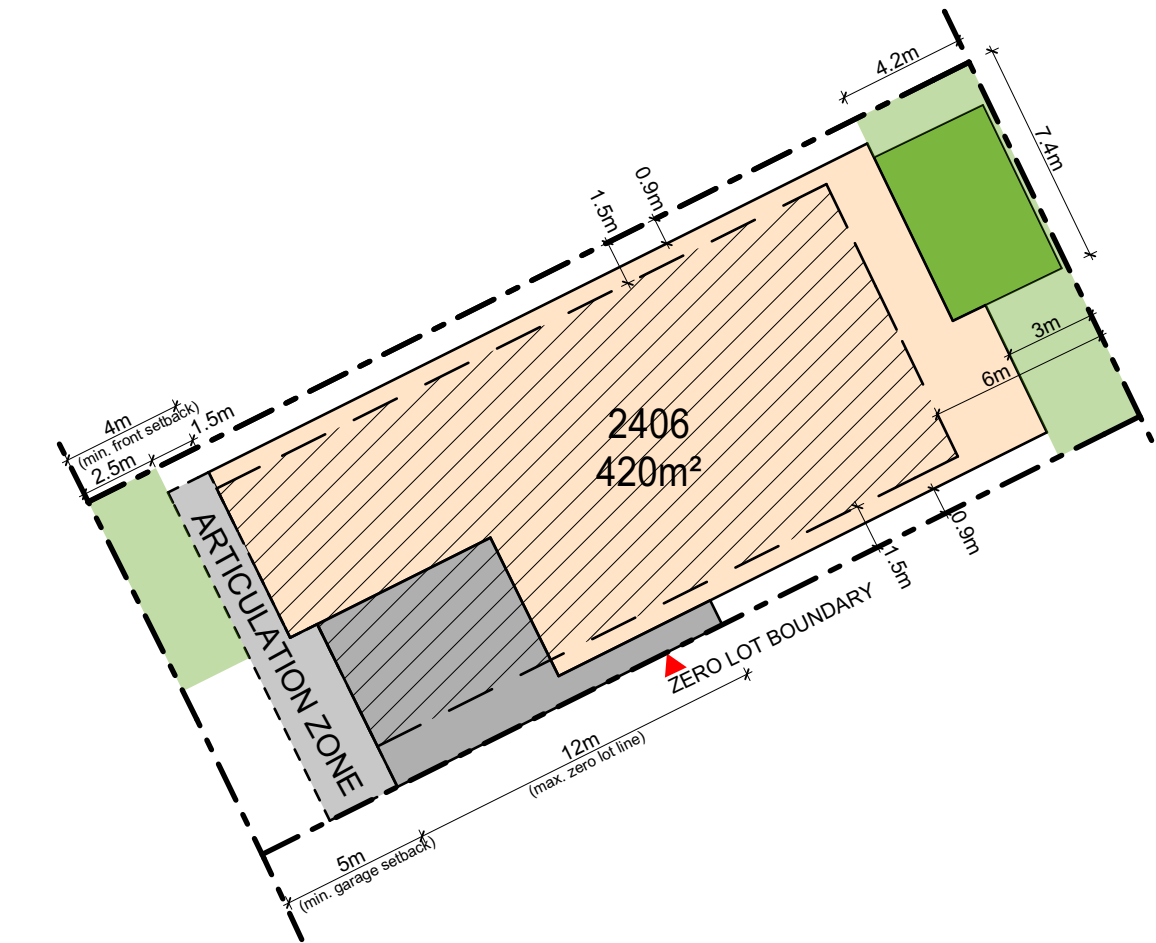
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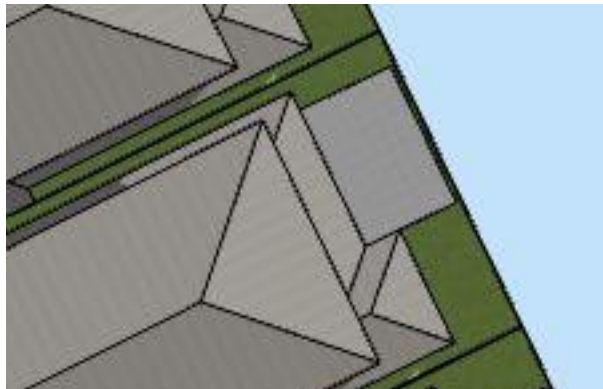
Drawing Title		
Lot 1805		
Job Number	Drawing Number	Issue
160	SK05	01

Client	McCloy Group
Project	Billys Lookout Lots 25-38

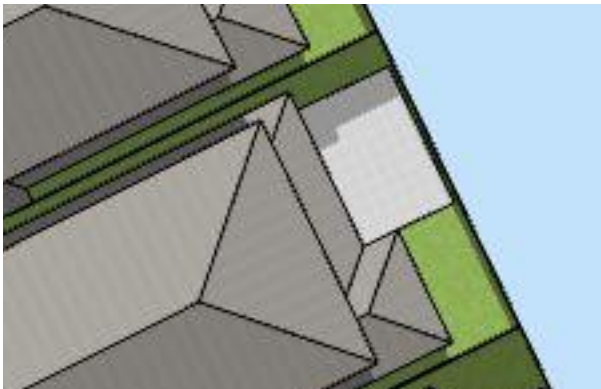




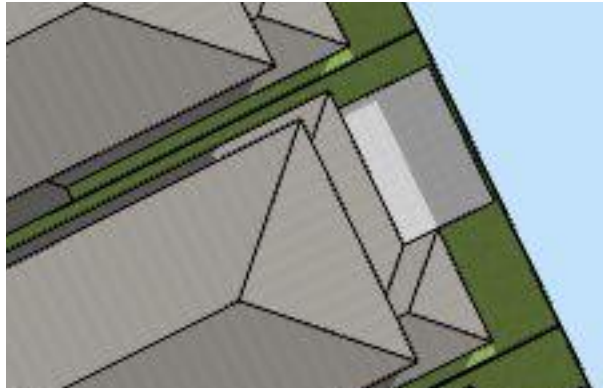
- Legend**
- Ground Level
  - First Level
  - Preferred Garage Location
  - Minimum Open Space (6m x 4m)
  - Landscape Area > 15% of site area
  - Articulation Zone (max. 1.5m encroachment into front setback for max. 50% of building width)



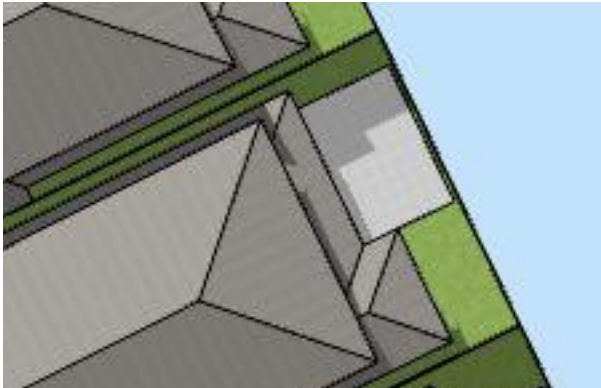
June 21st - 9am



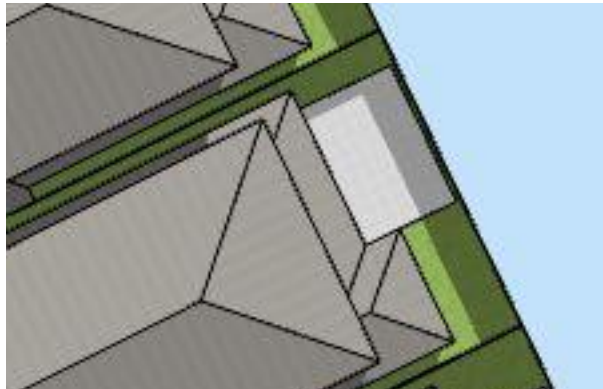
June 21st - 1pm



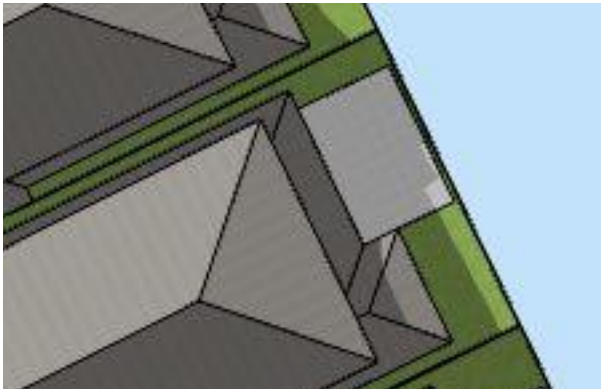
June 21st - 10am



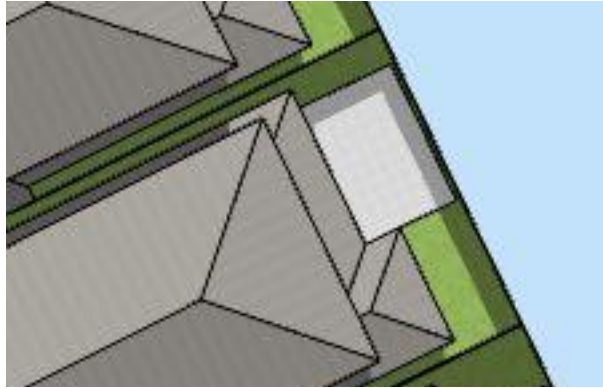
June 21st - 2pm



June 21st - 11am



June 21st - 3pm



June 21st - 12pm

**50% SOLAR ACCESS REQUIREMENTS ON 22nd JUNE**

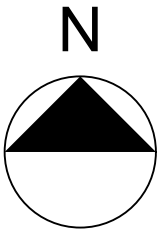
9am	No
10am	No
11am	Yes
12pm	Yes
1pm	Yes
2pm	Yes
3pm	No

**Landscape Requirements**

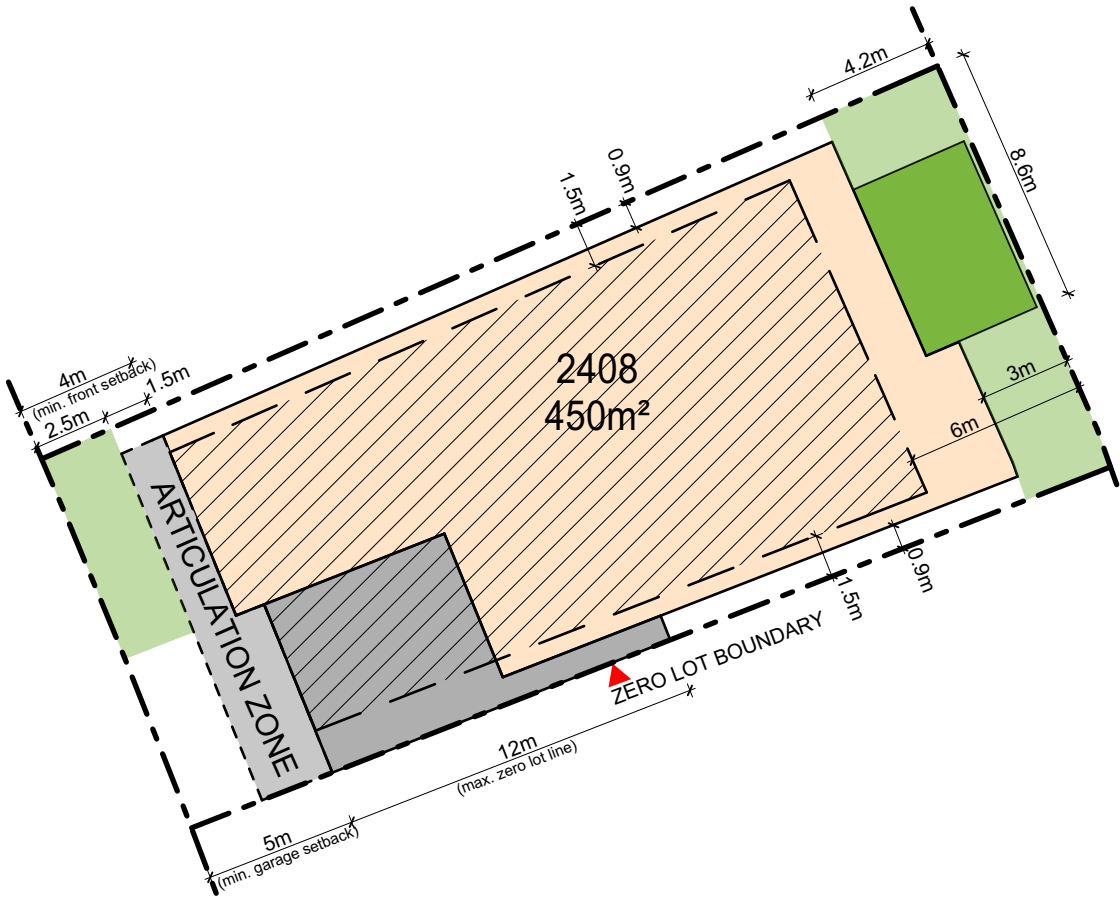
	Lot Area	Min. 15% Required	Landscape Area Required
Lot 1806	420m²	63m²	Yes

- Notes:
- This drawing and future dwelling designs to be read in conjunction with LMDCP 2014, with particular reference to Part 3, Part 8 and Section 9.19
  - The envelopes depicted indicate the bounds to which any future development should be located within
  - Zero lot boundary preference has been given towards the western elevation
  - In accordance with Section 19.1.4 of the LMDCP double garages have only been depicted for lots with street frontages equal to or greater than 12.0m as measured at the building line
  - Building footprint including zero lot lines may be mirrored depending on lot orientation, levels & building layout

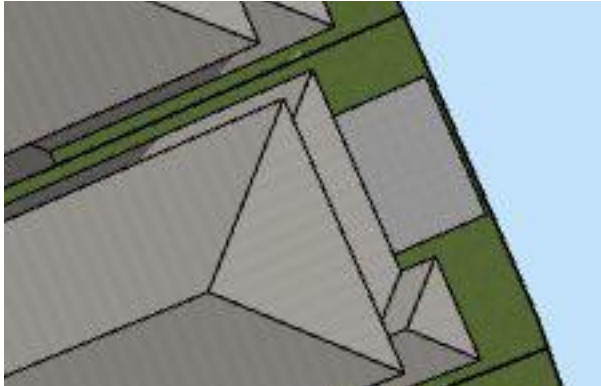
Private open space can be sited in alternate locations provided compliance with LMDCP 2014 is maintained (including solar access to private open space)



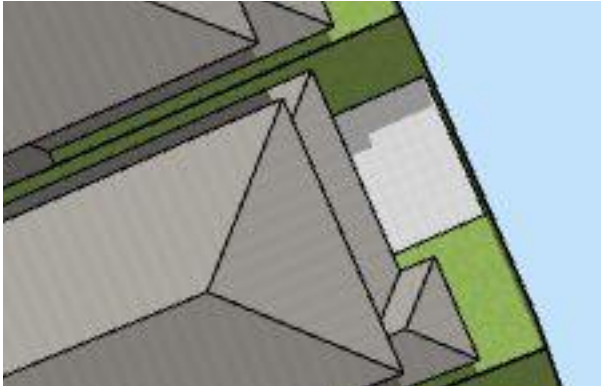




- Legend**
- Ground Level
  - First Level
  - Preferred Garage Location
  - Minimum Open Space (6m x 4m)
  - Landscape Area > 15% of site area
  - Articulation Zone (max. 1.5m encroachment into front setback for max. 50% of building width)



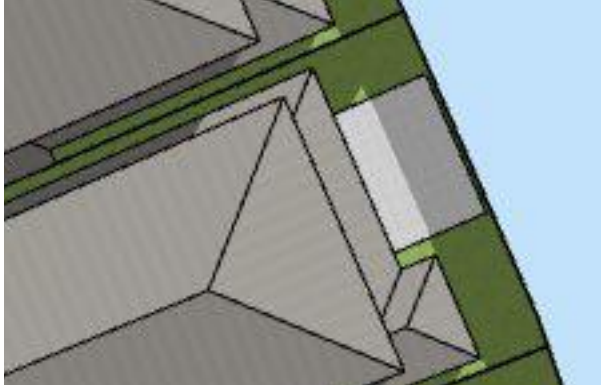
June 21st - 9am



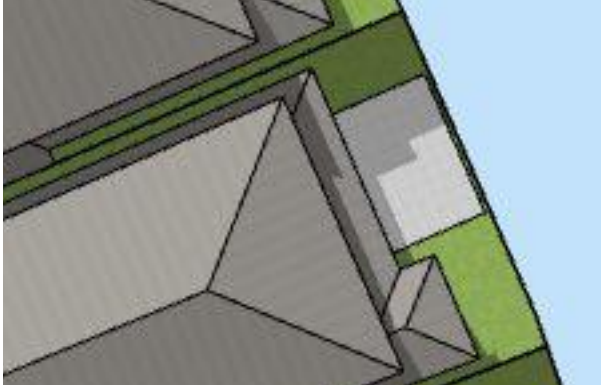
June 21st - 1pm

**50% SOLAR ACCESS REQUIREMENTS ON 22nd JUNE**

9am	No
10am	No
11am	Yes
12pm	Yes
1pm	Yes
2pm	Yes
3pm	No



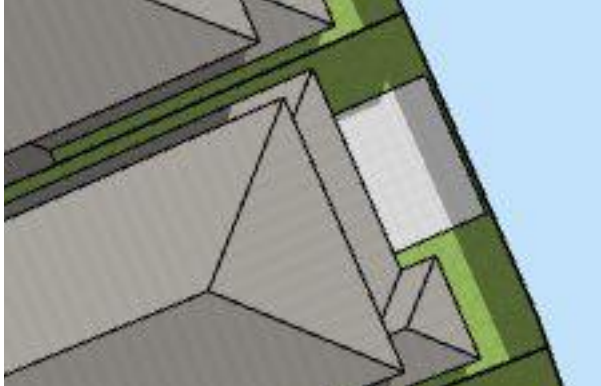
June 21st - 10am



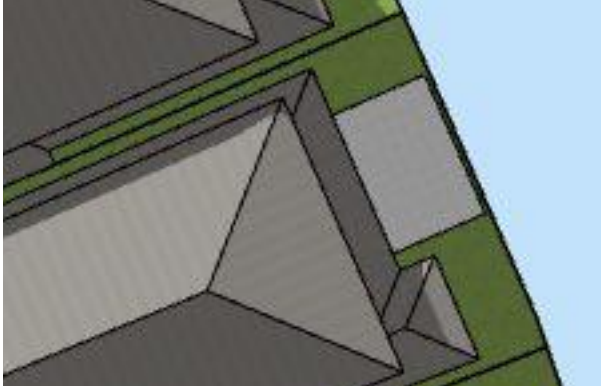
June 21st - 2pm

**Landscape Requirements**

	Lot Area	Min. 15% Required	Landscape Area Required
Lot 1808	450m²	78m²	Yes

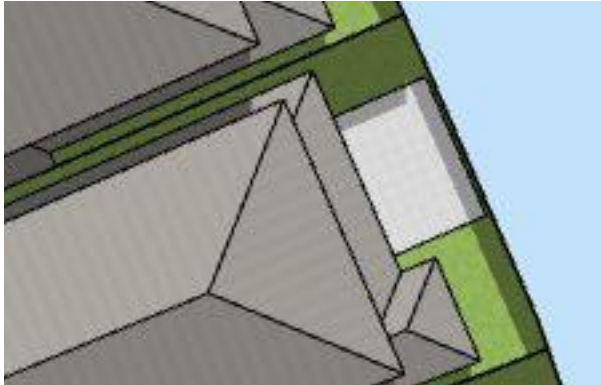


June 21st - 11am



June 21st - 3pm

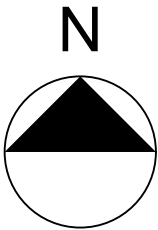
- Notes:
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  - In accordance with Section 19.1.4 of the LMDCP double garages have only been depicted for lots with street frontages equal to or greater than 12.0m as measured at the building line
  - Building footprint including zero lot lines may be mirrored depending on lot orientation, levels & building layout



June 21st - 12pm

Private open space can be sited in alternate locations provided compliance with LMDCP 2014 is maintained (including solar access to private open space)

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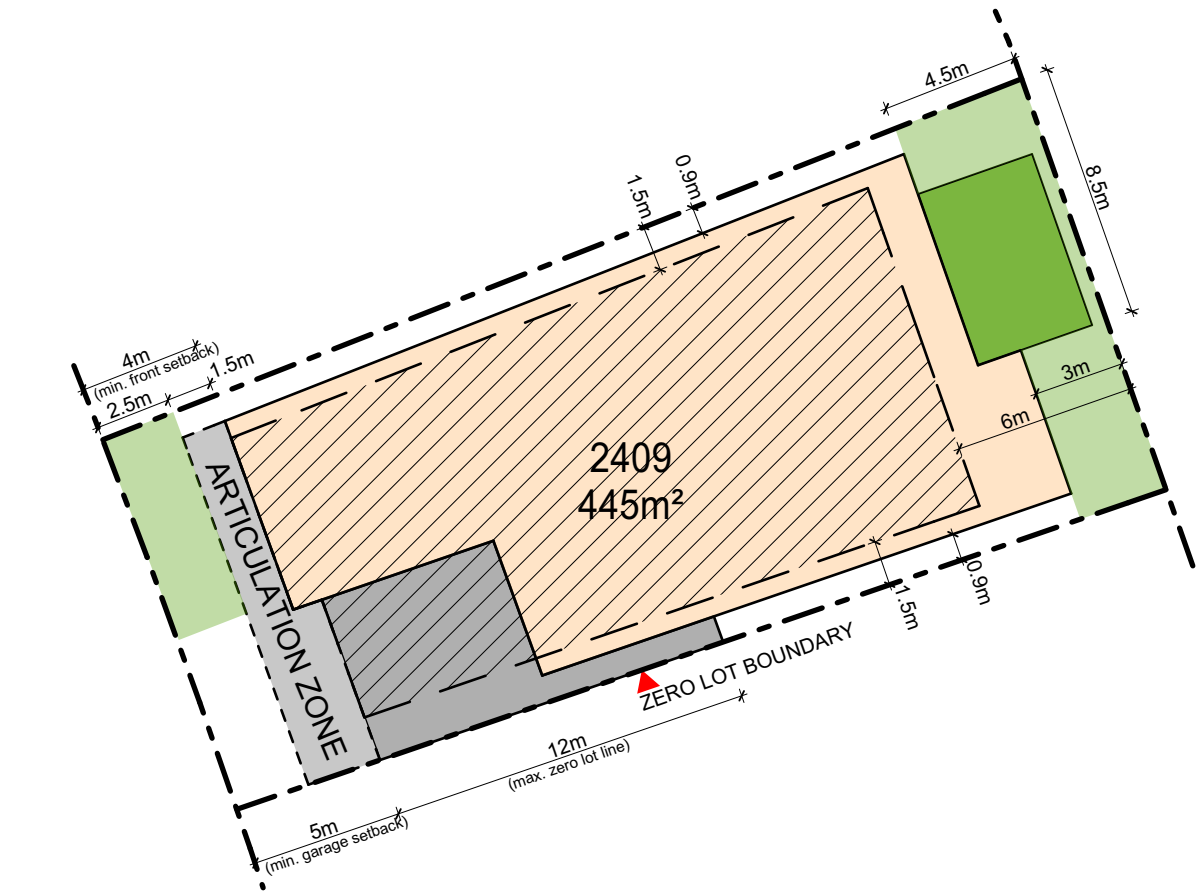


Drawing Title		
Lot 1808		
Job Number	Drawing Number	Issue
160	SK07	01

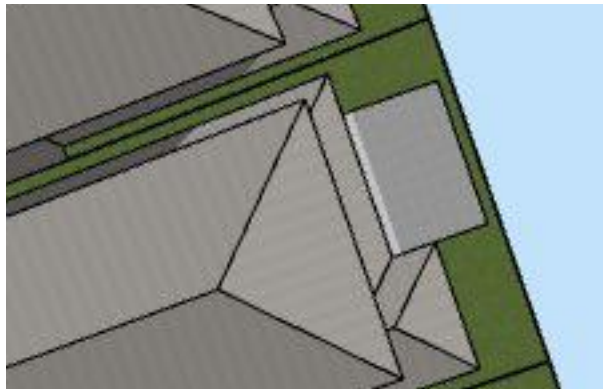
Client	McCloy Group
Project	Billys Lookout Lots 25-38



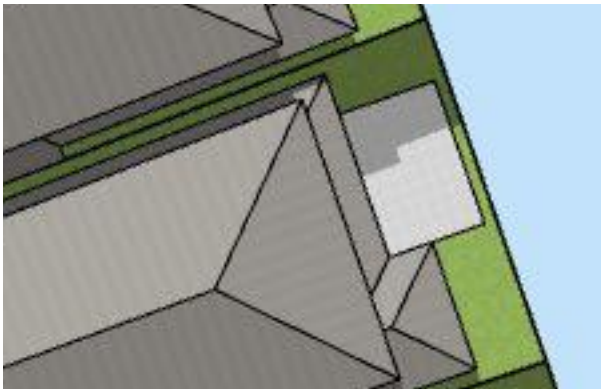




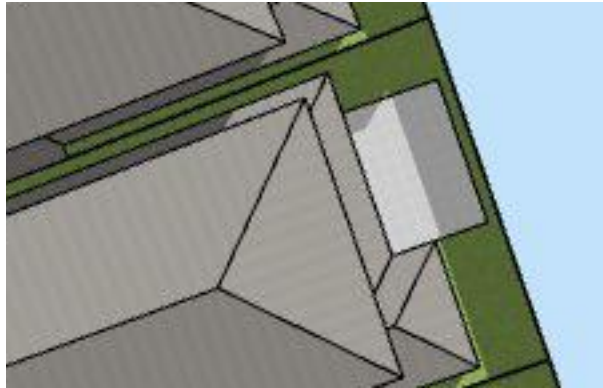
- Legend**
- Ground Level
  - First Level
  - Preferred Garage Location
  - Minimum Open Space (6m x 4m)
  - Landscape Area > 15% of site area
  - Articulation Zone (max. 1.5m encroachment into front setback for max. 50% of building width)



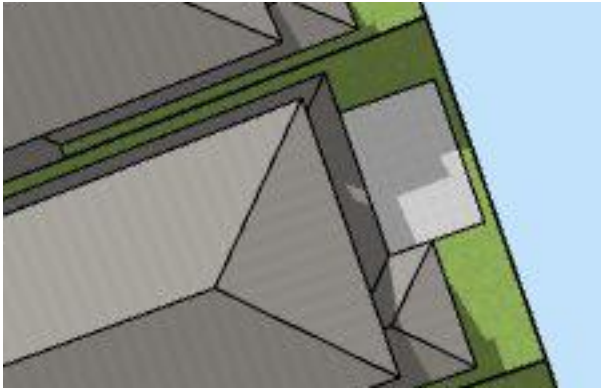
June 21st - 9am



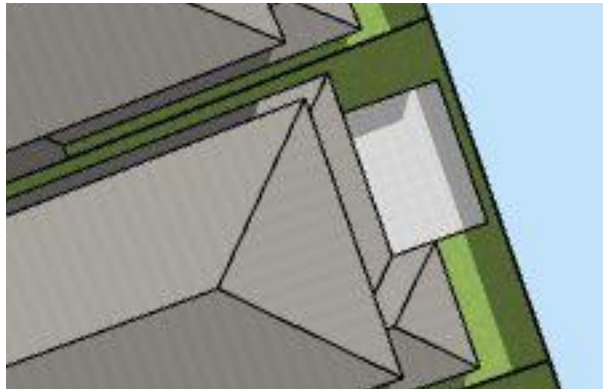
June 21st - 1pm



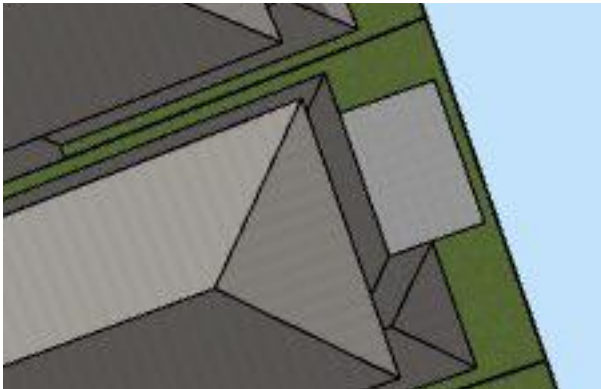
June 21st - 10am



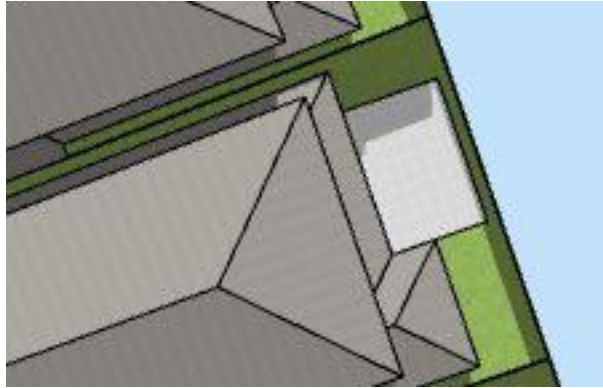
June 21st - 2pm



June 21st - 11am



June 21st - 3pm



June 21st - 12pm

**50% SOLAR ACCESS REQUIREMENTS ON 22nd JUNE**

9am	No
10am	Yes
11am	Yes
12pm	Yes
1pm	Yes
2pm	No
3pm	No

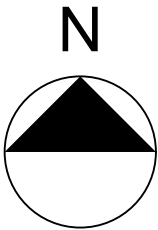
**Landscape Requirements**

	Lot Area	Min. 15% Required	Landscape Area Required
Lot 1809	445m²	67m²	Yes

- Notes:
- This drawing and future dwelling designs to be read in conjunction with LMDCP 2014, with particular reference to Part 3, Part 8 and Section 9.19
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  - In accordance with Section 19.1.4 of the LMDCP double garages have only been depicted for lots with street frontages equal to or greater than 12.0m as measured at the building line
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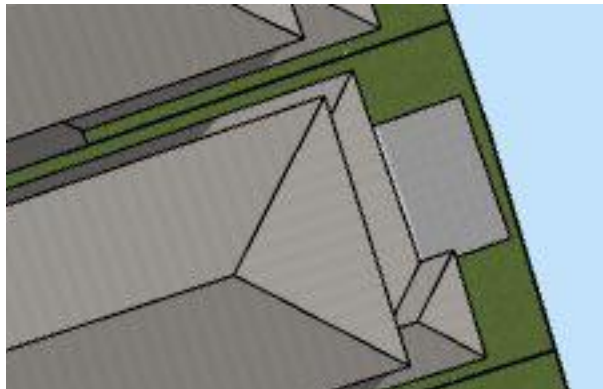
Drawing Title		
Lot 1809		
Job Number	Drawing Number	Issue
160	SK08	01

Client	McCloy Group
Project	Billys Lookout Lots 25-38

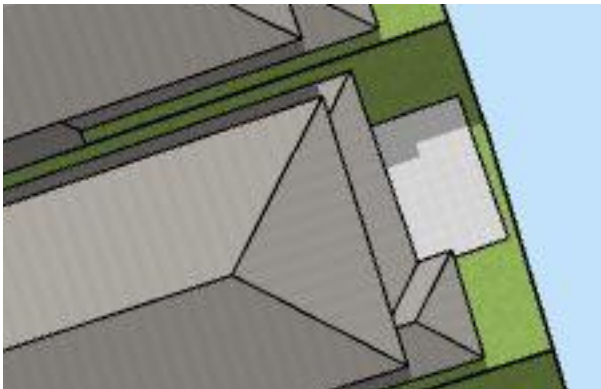




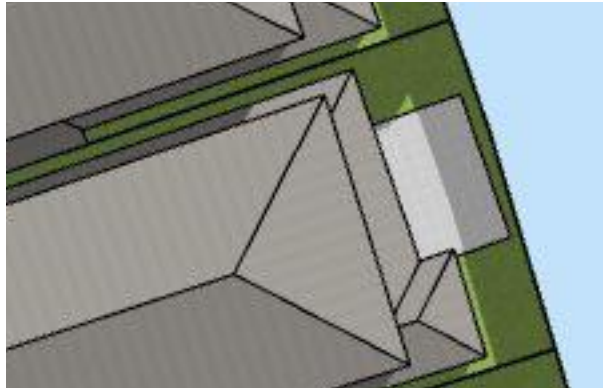
- Legend**
- Ground Level
  - First Level
  - Preferred Garage Location
  - Minimum Open Space (6m x 4m)
  - Landscape Area > 15% of site area
  - Articulation Zone (max. 1.5m encroachment into front setback for max. 50% of building width)



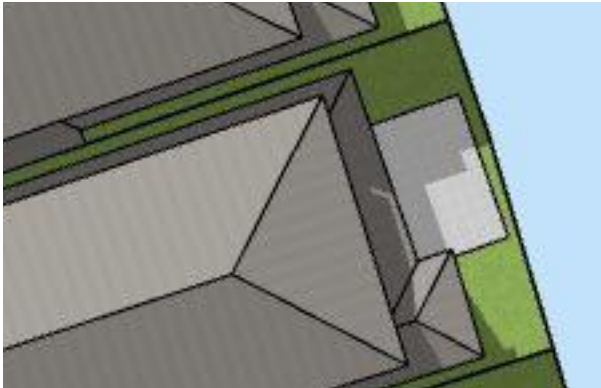
June 21st - 9am



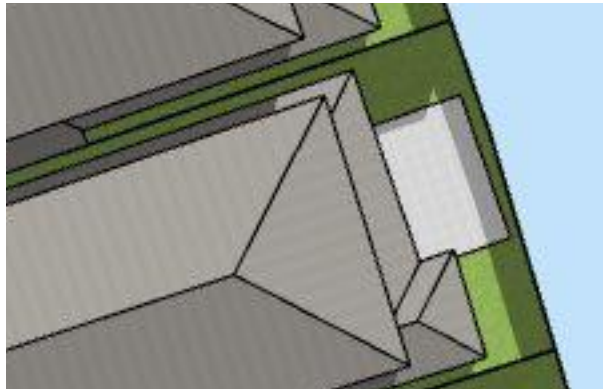
June 21st - 1pm



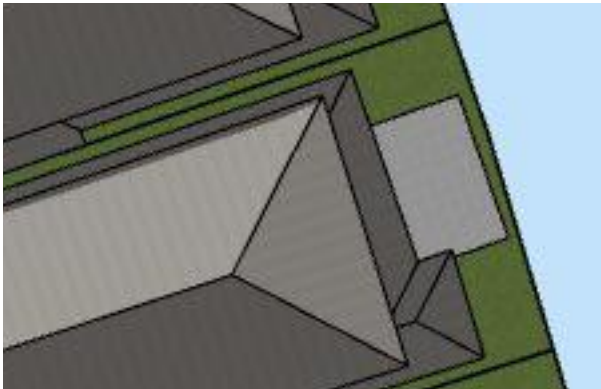
June 21st - 10am



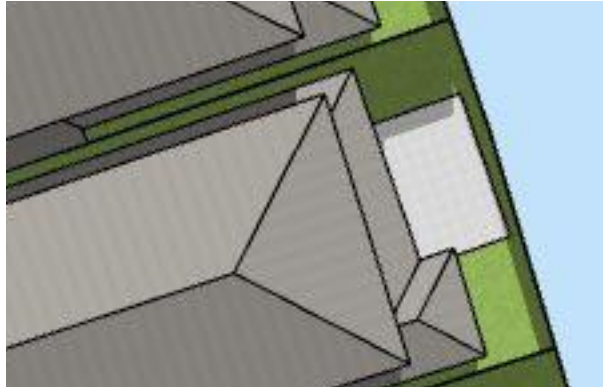
June 21st - 2pm



June 21st - 11am



June 21st - 3pm



June 21st - 12pm

**50% SOLAR ACCESS REQUIREMENTS ON 22nd JUNE**

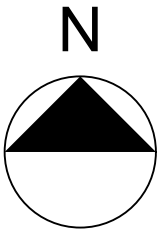
9am	No
10am	Yes
11am	Yes
12pm	Yes
1pm	Yes
2pm	No
3pm	No

**Landscape Requirements**

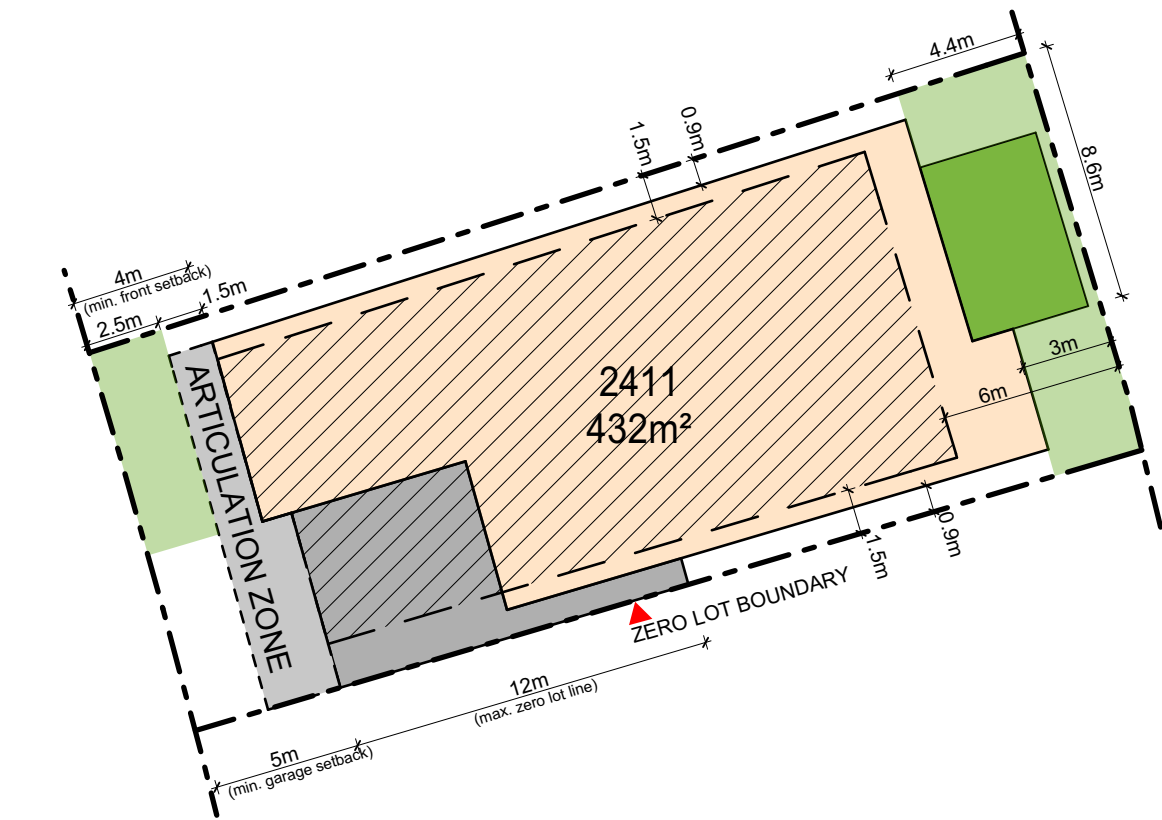
	Lot Area	Min. 15% Required	Landscape Area Required
Lot 1810	435m²	65m²	Yes

- Notes:
- This drawing and future dwelling designs to be read in conjunction with LMDCP 2014, with particular reference to Part 3, Part 8 and Section 9.19
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  - Building footprint including zero lot lines may be mirrored depending on lot orientation, levels & building layout

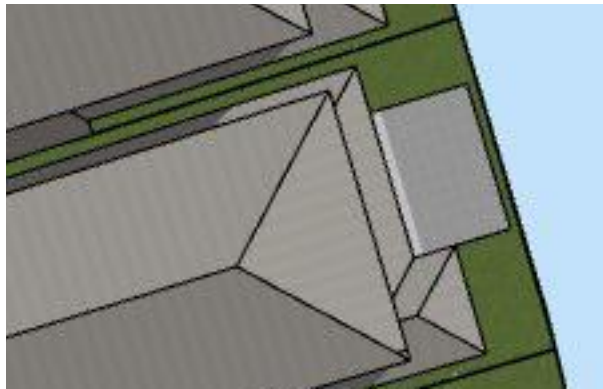
Private open space can be sited in alternate locations provided compliance with LMDCP 2014 is maintained (including solar access to private open space)



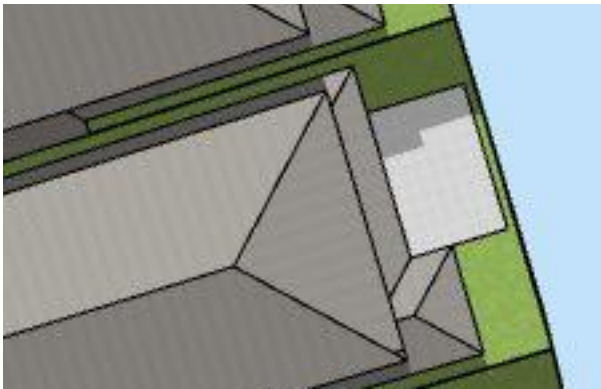




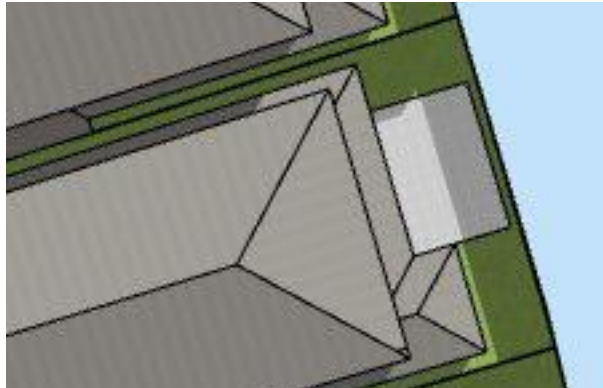
- Legend**
- Ground Level
  - First Level
  - Preferred Garage Location
  - Minimum Open Space (6m x 4m)
  - Landscape Area > 15% of site area
  - Articulation Zone (max. 1.5m encroachment into front setback for max. 50% of building width)



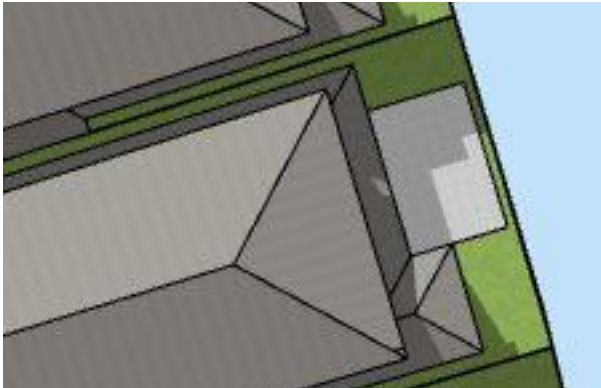
June 21st - 9am



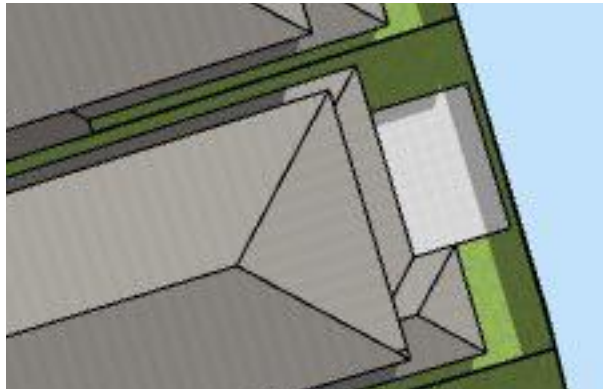
June 21st - 1pm



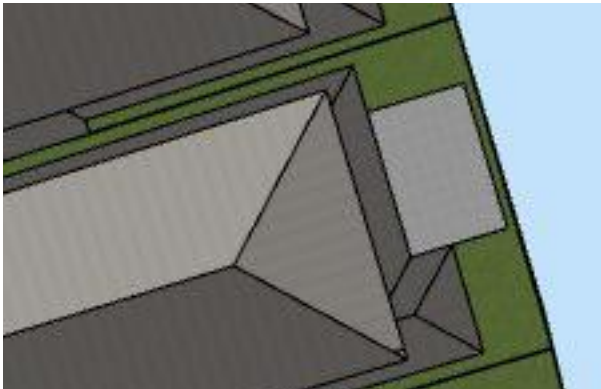
June 21st - 10am



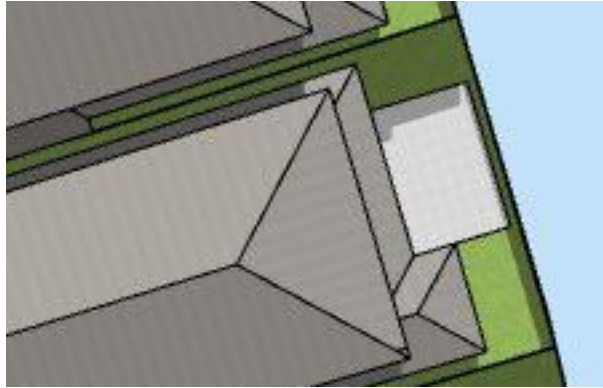
June 21st - 2pm



June 21st - 11am



June 21st - 3pm



June 21st - 12pm

**50% SOLAR ACCESS REQUIREMENTS ON 22nd JUNE**

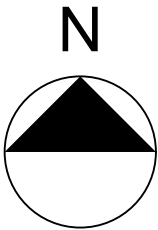
9am	No
10am	Yes
11am	Yes
12pm	Yes
1pm	Yes
2pm	No
3pm	No

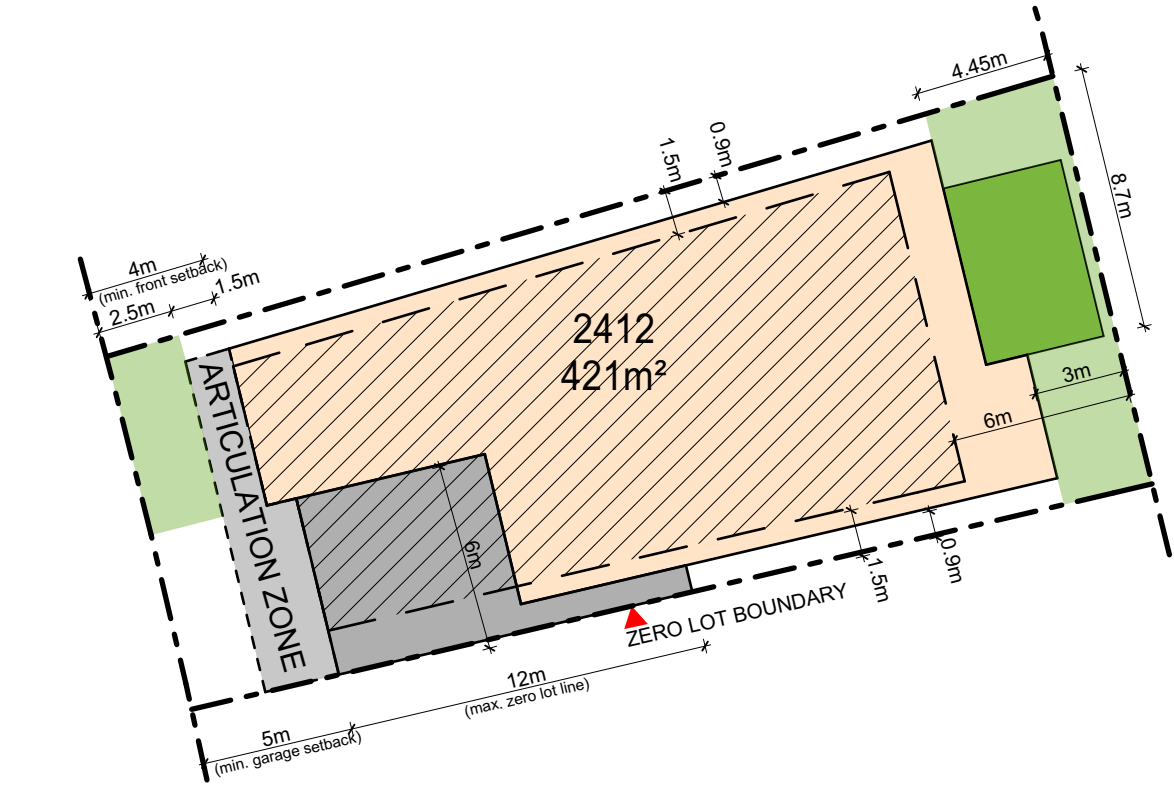
**Landscape Requirements**

	Lot Area	Min. 15% Required	Landscape Area Required
Lot 1811	432m²	65m²	Yes

- Notes:
- This drawing and future dwelling designs to be read in conjunction with LMDCP 2014, with particular reference to Part 3, Part 8 and Section 9.19
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Legend

Ground Level

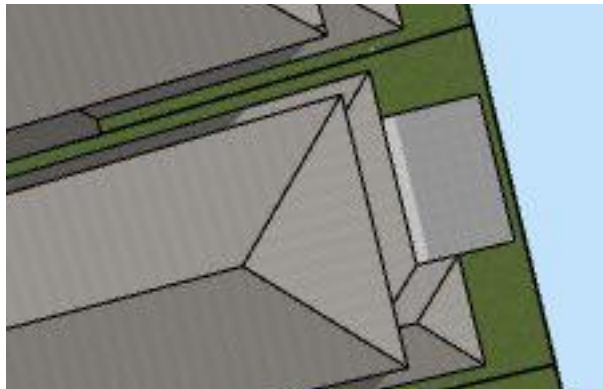
First Level

Preferred Garage Location

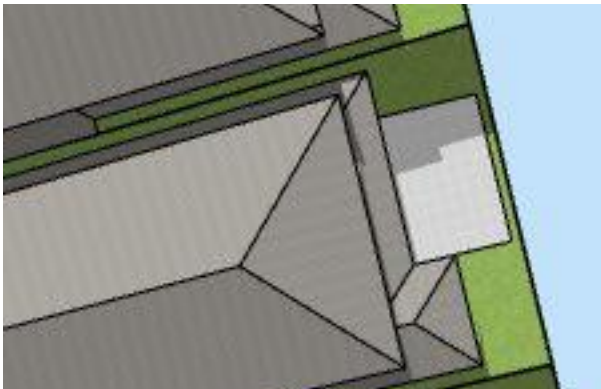
Minimum Open Space (6m x 4m)

Landscape Area > 15% of site area

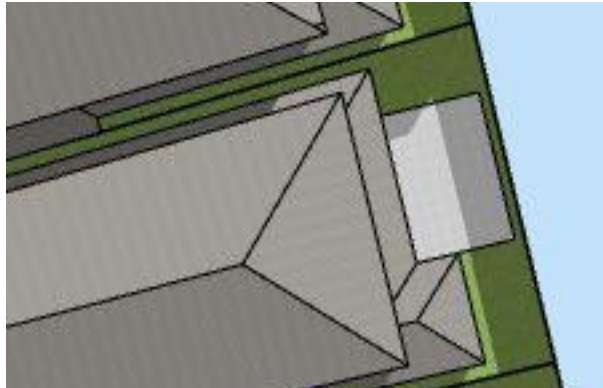
Articulation Zone (max. 1.5m encroachment into front setback for max. 50% of building width)



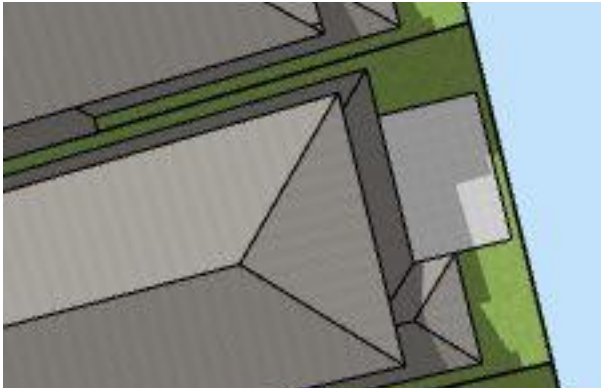
June 21st - 9am



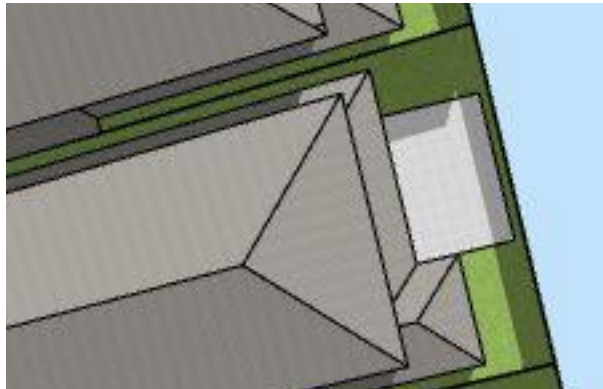
June 21st - 1pm



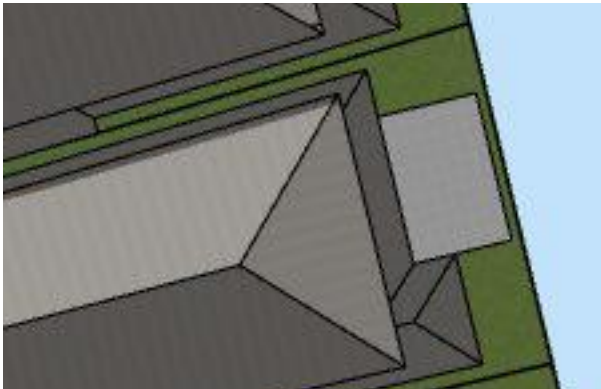
June 21st - 10am



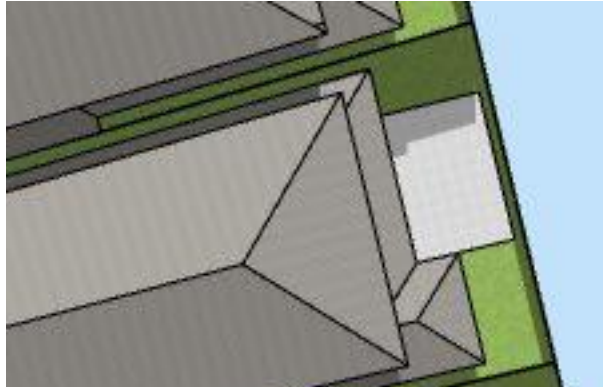
June 21st - 2pm



June 21st - 11am



June 21st - 3pm



June 21st - 12pm

50% SOLAR ACCESS REQUIREMENTS ON 22nd JUNE

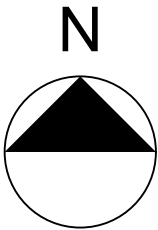
9am	No
10am	Yes
11am	Yes
12pm	Yes
1pm	Yes
2pm	No
3pm	No

Landscape Requirements

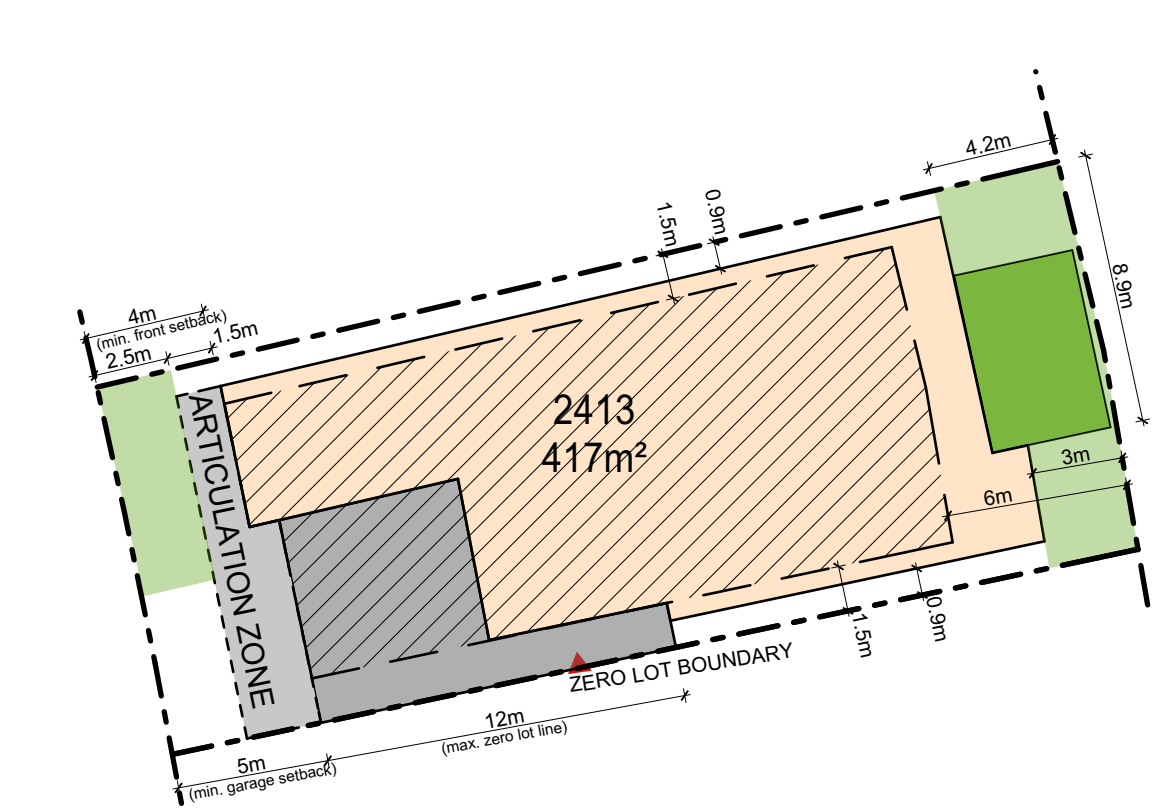
	Lot Area	Min. 15% Required	Landscape Area Required
Lot 2412	421m²	63m²	Yes

- Notes:
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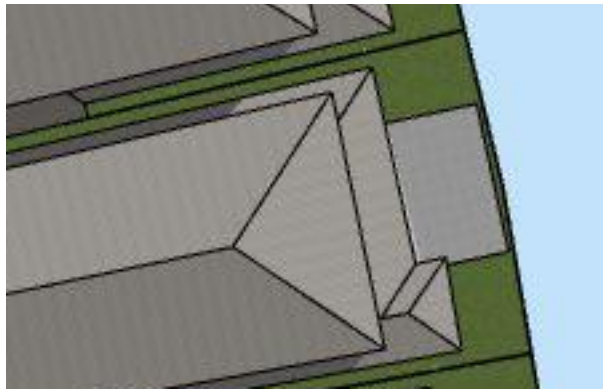
Private open space can be sited in alternate locations provided compliance with LMDCP 2014 is maintained (including solar access to private open space)



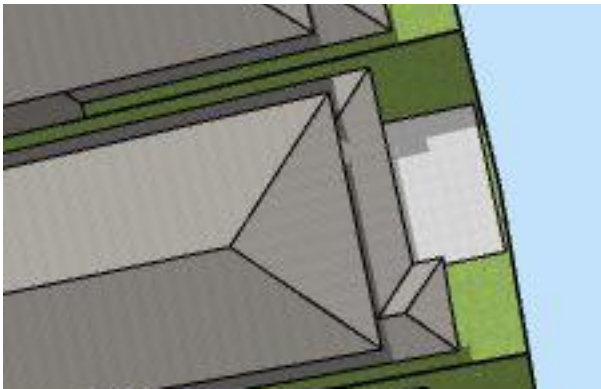




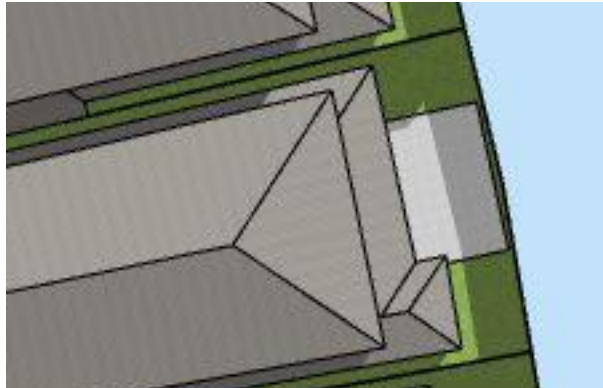
- Legend**
- Ground Level
  - First Level
  - Preferred Garage Location
  - Minimum Open Space (6m x 4m)
  - Landscape Area > 15% of site area
  - Articulation Zone (max. 1.5m encroachment into front setback for max. 50% of building width)



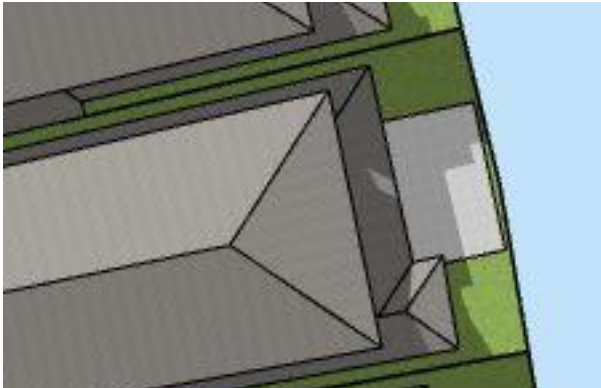
June 21st - 9am



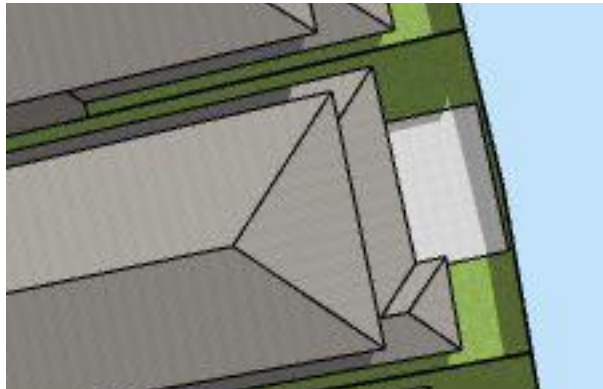
June 21st - 1pm



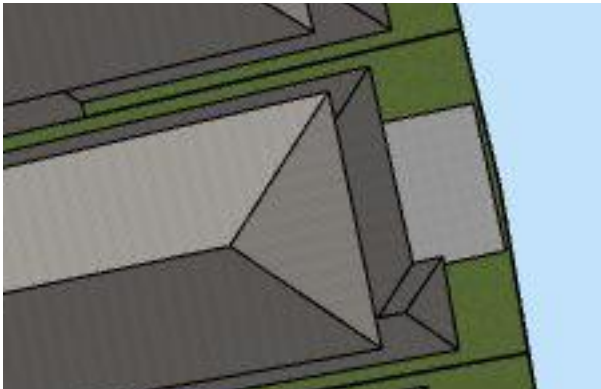
June 21st - 10am



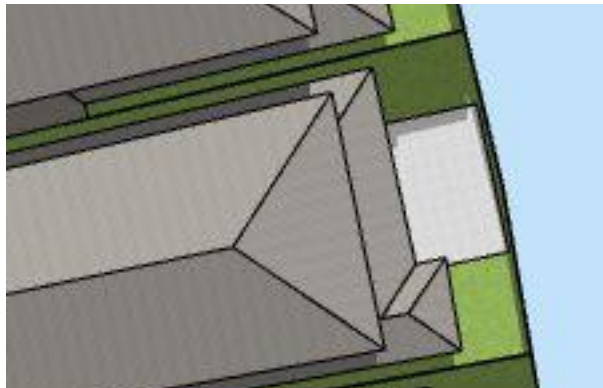
June 21st - 2pm



June 21st - 11am



June 21st - 3pm



June 21st - 12pm

**50% SOLAR ACCESS REQUIREMENTS ON 22nd JUNE**

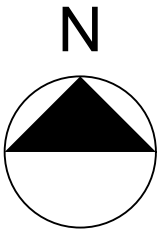
9am	No
10am	Yes
11am	Yes
12pm	Yes
1pm	Yes
2pm	No
3pm	No

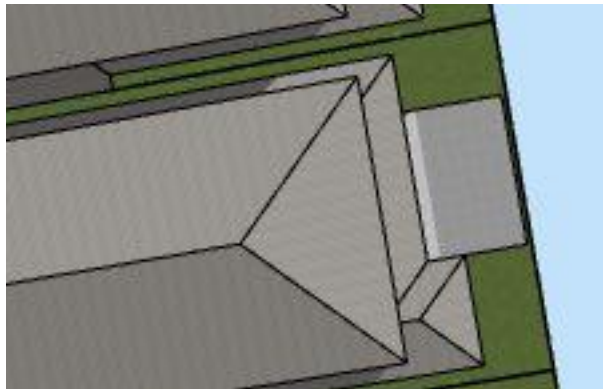
**Landscape Requirements**

	Lot Area	Min. 15% Required	Landscape Area Required
Lot 2413	417m²	63m²	Yes

- Notes:
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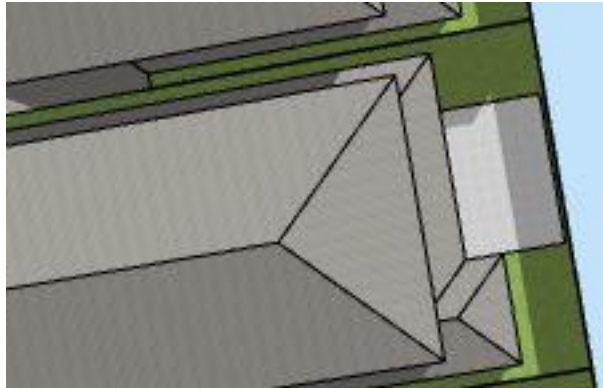




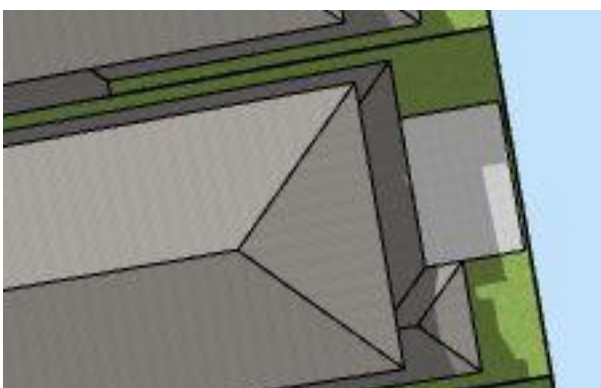
June 21st - 9am



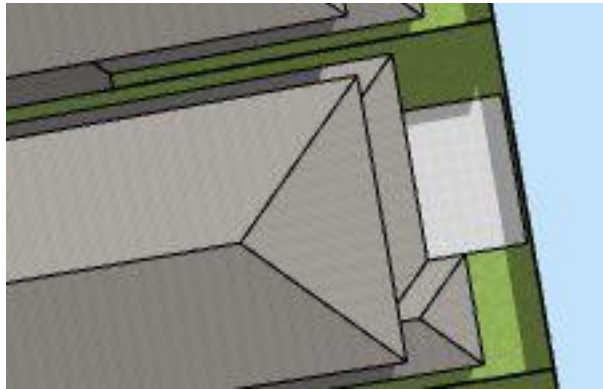
June 21st - 1pm



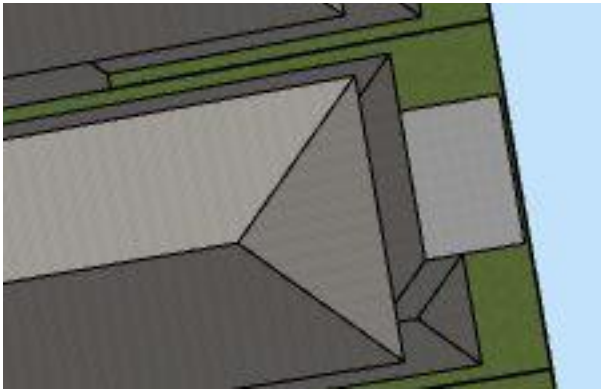
June 21st - 10am



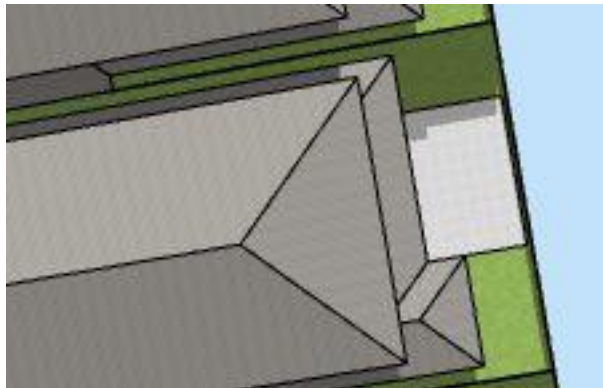
June 21st - 2pm



June 21st - 11am



June 21st - 3pm



June 21st - 12pm

50% SOLAR ACCESS  
REQUIREMENTS ON 22nd JUNE

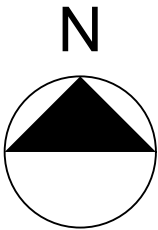
9am	No
10am	Yes
11am	Yes
12pm	Yes
1pm	Yes
2pm	No
3pm	No

Landscape Requirements

	Lot Area	Min. 15% Required	Landscape Area Required
Lot 2414	431m <sup>2</sup>	65m <sup>2</sup>	Yes

- Notes:
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  4. In accordance with Section 19.1.4 of the LMDCP double garages have only been depicted for lots with street frontages equal to or greater than 12.0m as measured at the building line
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Client

McCloy Group

Project

Billys Lookout Stage 24