



**BILLY'S  
LOOKOUT**

EST. 2015

LAKE MACQUARIE

## LOT 1001, CORDAGE WAY, BILLY'S LOOKOUT

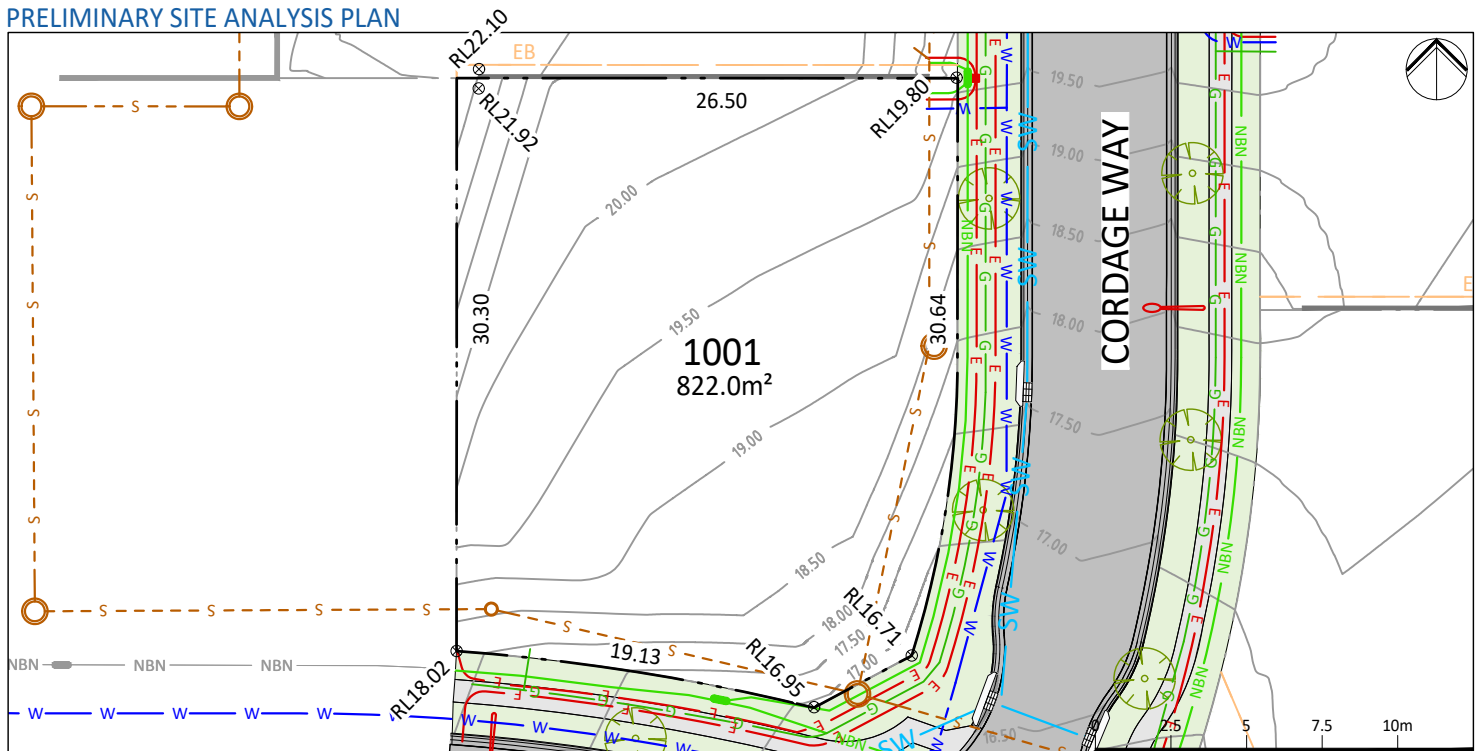
### MASTER PLAN



### STAGE PLAN



### PRELIMINARY SITE ANALYSIS PLAN



### LEGEND:

	RETAINING WALL
	STORMWATER PIT
	STORMWATER PIPE
	DRAINAGE SWALE
	SEWER MAIN
	SEWER MAINTENANCE STRUCTURE
	SEWER JUNCTION
	WATERMAIN
	HYDRANT / STOP VALVE
	TELSTRA / NBN
	TELSTRA / NBN PIT
	UNDERGROUND POWER
	ELECTRICITY PILLAR
	LIGHT POLE
	EASEMENT
	STREET TREES
	CONTOURS
	GAS LINE

### DISCLAIMER / NOTES:

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- Refer to build envelope plans for further details.

(EA) - EASEMENT TO DRAIN WATER 2 WIDE  
 (EB) - RESTRICTION ON THE USE OF LAND 0.7 WIDE  
 (EC) - EASEMENT FOR SIGNAGE 3 WIDE

REVISION: STAGE 10 MARKETING  
 DATE: 19 APRIL 2024  
 BY: NORTHPRO CONSULTING ENGINEERS

## LOT 1002, CORDAGE WAY, BILLY'S LOOKOUT

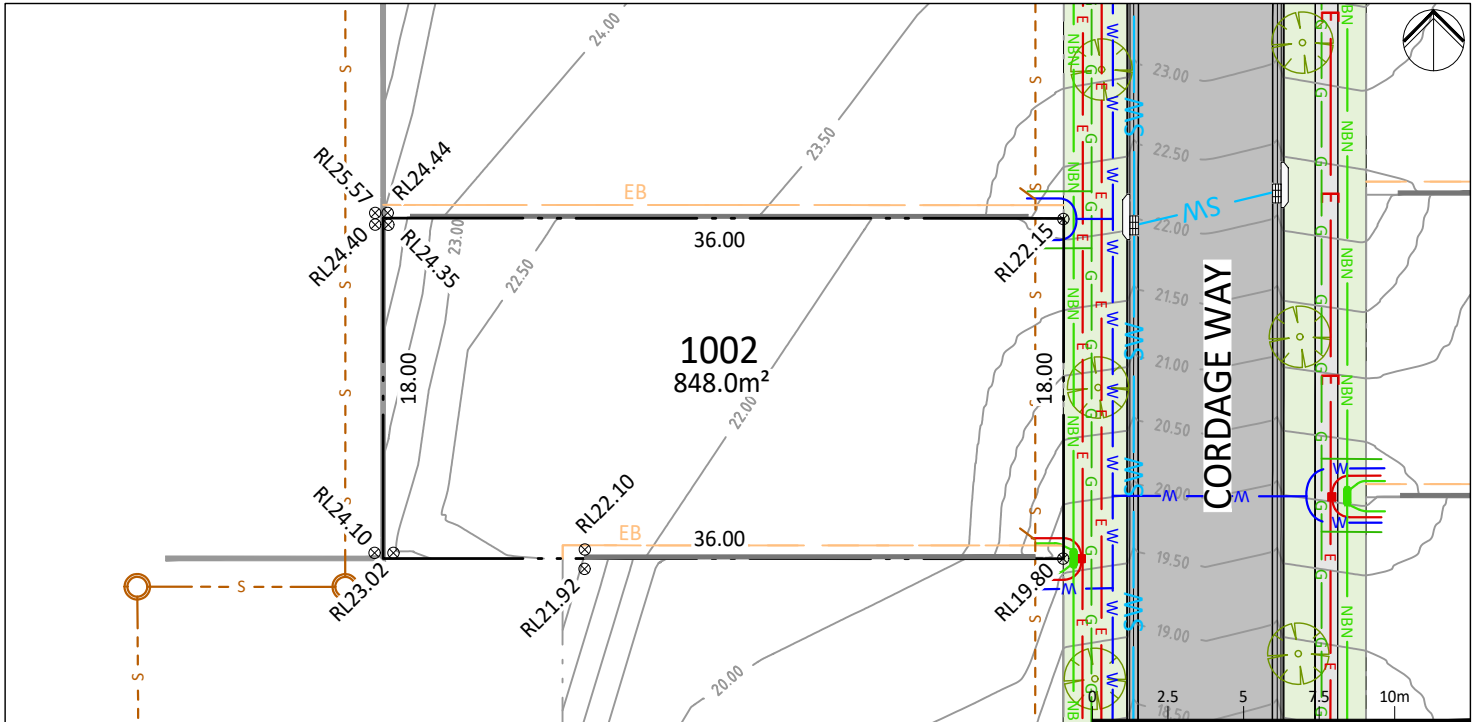
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### PRELIMINARY SITE ANALYSIS PLAN



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	STORMWATER PIPE
	DRAINAGE SWALE
	SEWER MAIN
	SEWER MAINTENANCE STRUCTURE
	SEWER JUNCTION
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	TELSTRA / NBN
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# LOT 1003, CORDAGE WAY, BILLY'S LOOKOUT

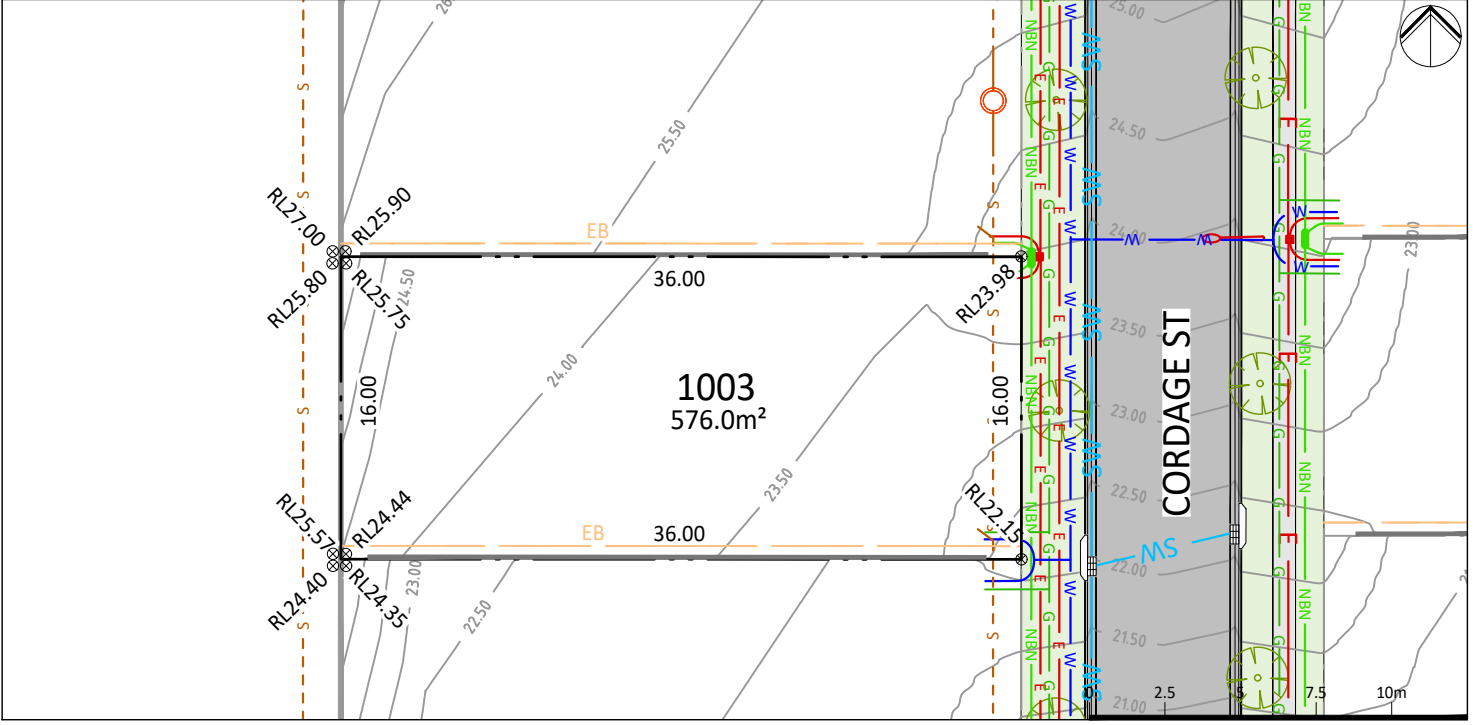
MASTER PLAN



STAGE PLAN



PRELIMINARY SITE ANALYSIS PLAN



**LEGEND:**

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	STORMWATER PIT
	STORMWATER PIPE
	DRAINAGE SWALE
	SEWER MAIN
	SEWER MAINTENANCE STRUCTURE
	SEWER JUNCTION
	WATERMAIN
	HYDRANT / STOP VALVE
	TELSTRA / NBN
	TELSTRA / NBN PIT
	UNDERGROUND POWER
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	CONTOURS
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## LOT 1004, CORDAGE WAY, BILLY'S LOOKOUT

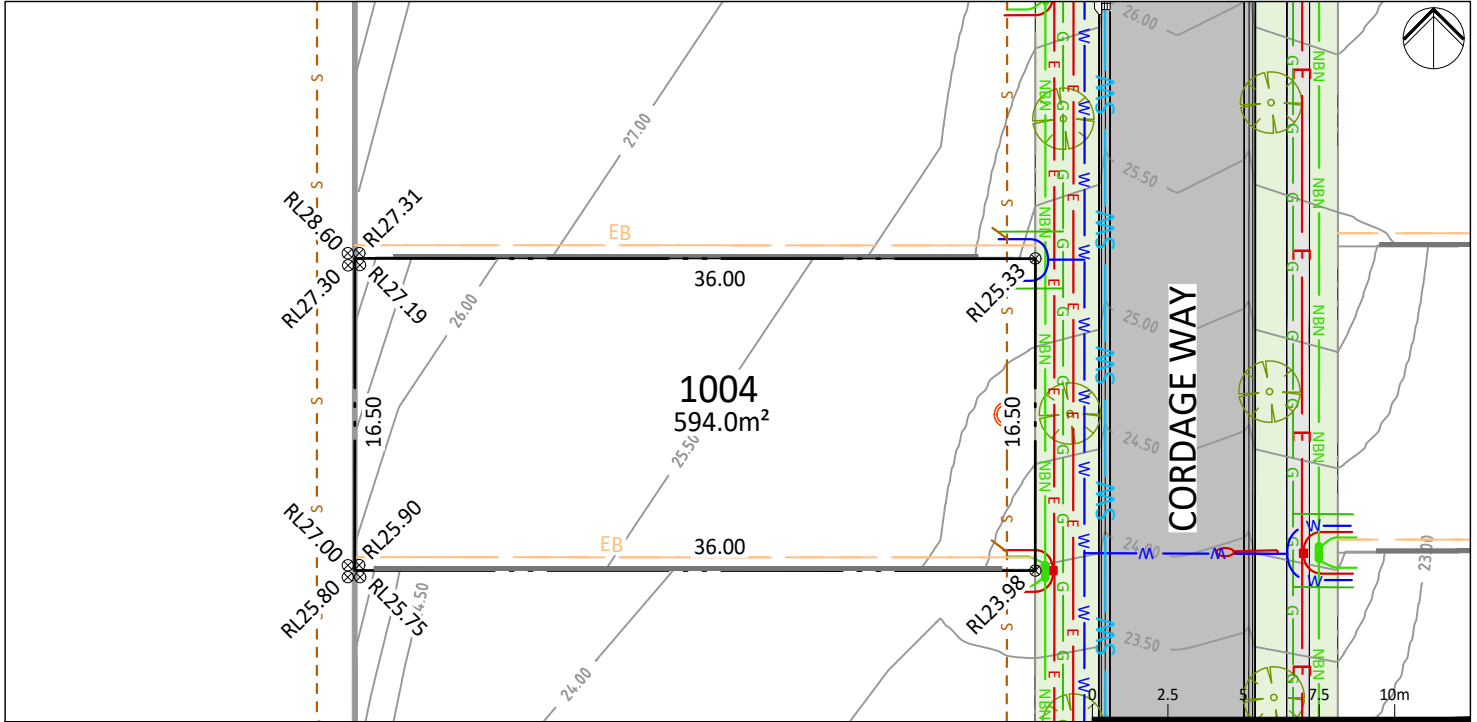
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### STAGE PLAN



### PRELIMINARY SITE ANALYSIS PLAN



### LEGEND:

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	STORMWATER PIPE
	DRAINAGE SWALE
	SEWER MAIN
	SEWER MAINTENANCE STRUCTURE
	SEWER JUNCTION
	WATERMAIN
	HYDRANT / STOP VALVE
	TELSTRA / NBN
	TELSTRA / NBN PIT
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## LOT 1005, CORDAGE WAY, BILLY'S LOOKOUT

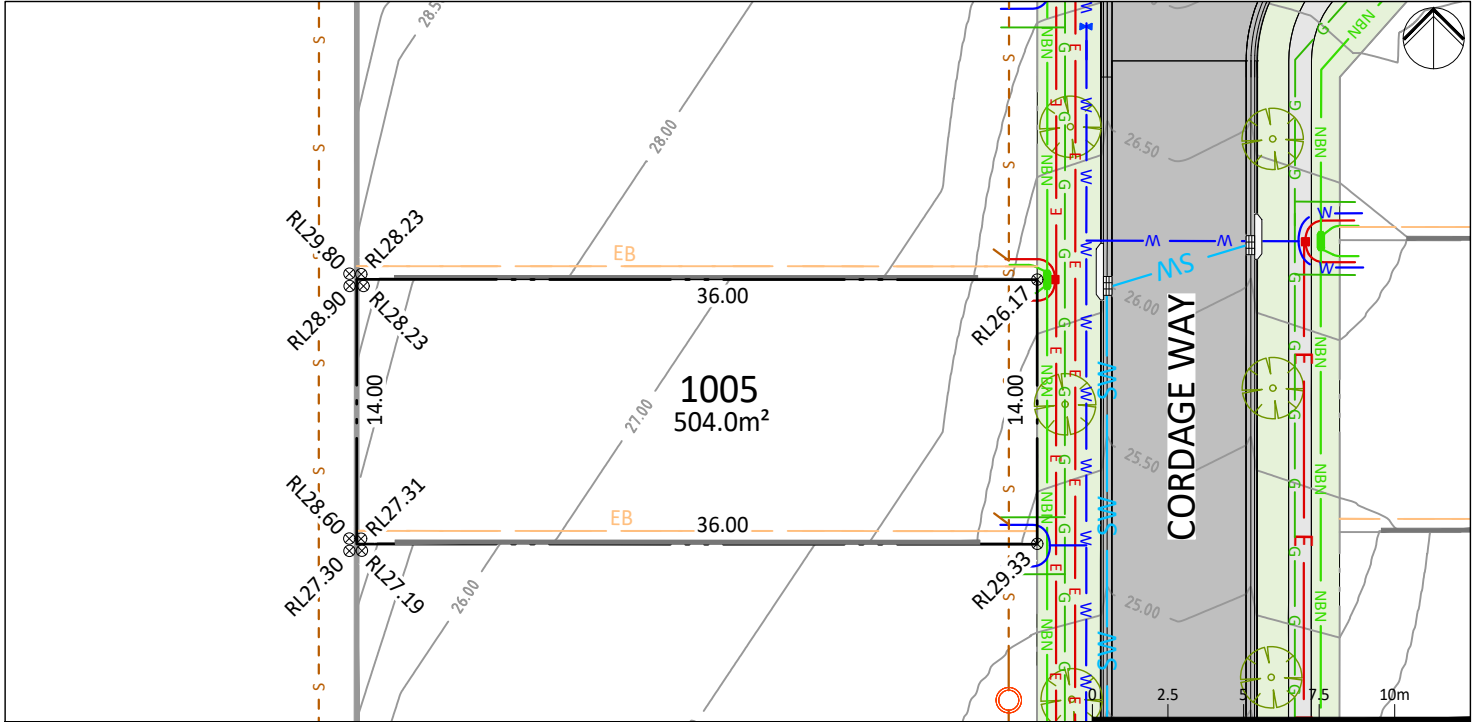
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### STAGE PLAN



### PRELIMINARY SITE ANALYSIS PLAN



### LEGEND:

	RETAINING WALL
	STORMWATER PIT
	STORMWATER PIPE
	DRAINAGE SWALE
	SEWER MAIN
	SEWER MAINTENANCE STRUCTURE
	SEWER JUNCTION
	WATERMAIN
	HYDRANT / STOP VALVE
	TELSTRA / NBN
	TELSTRA / NBN PIT
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## LOT 1006, CORDAGE WAY, BILLY'S LOOKOUT

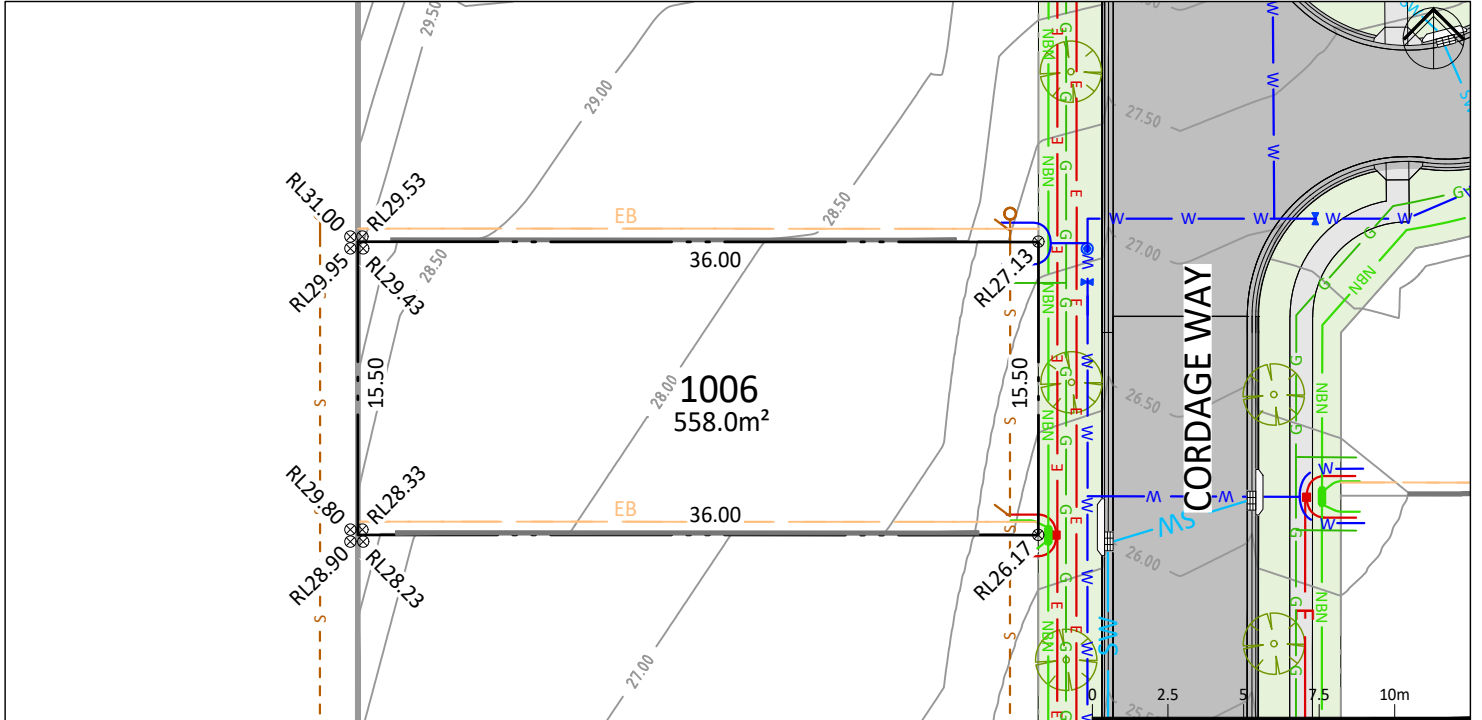
### MASTER PLAN



### STAGE PLAN



### PRELIMINARY SITE ANALYSIS PLAN



### LEGEND:

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	STORMWATER PIT
	STORMWATER PIPE
	DRAINAGE SWALE
	SEWER MAIN
	SEWER MAINTENANCE STRUCTURE
	SEWER JUNCTION
	WATERMAIN
	HYDRANT / STOP VALVE
	TELSTRA / NBN
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## LOT 1007, CORDAGE WAY, BILLY'S LOOKOUT

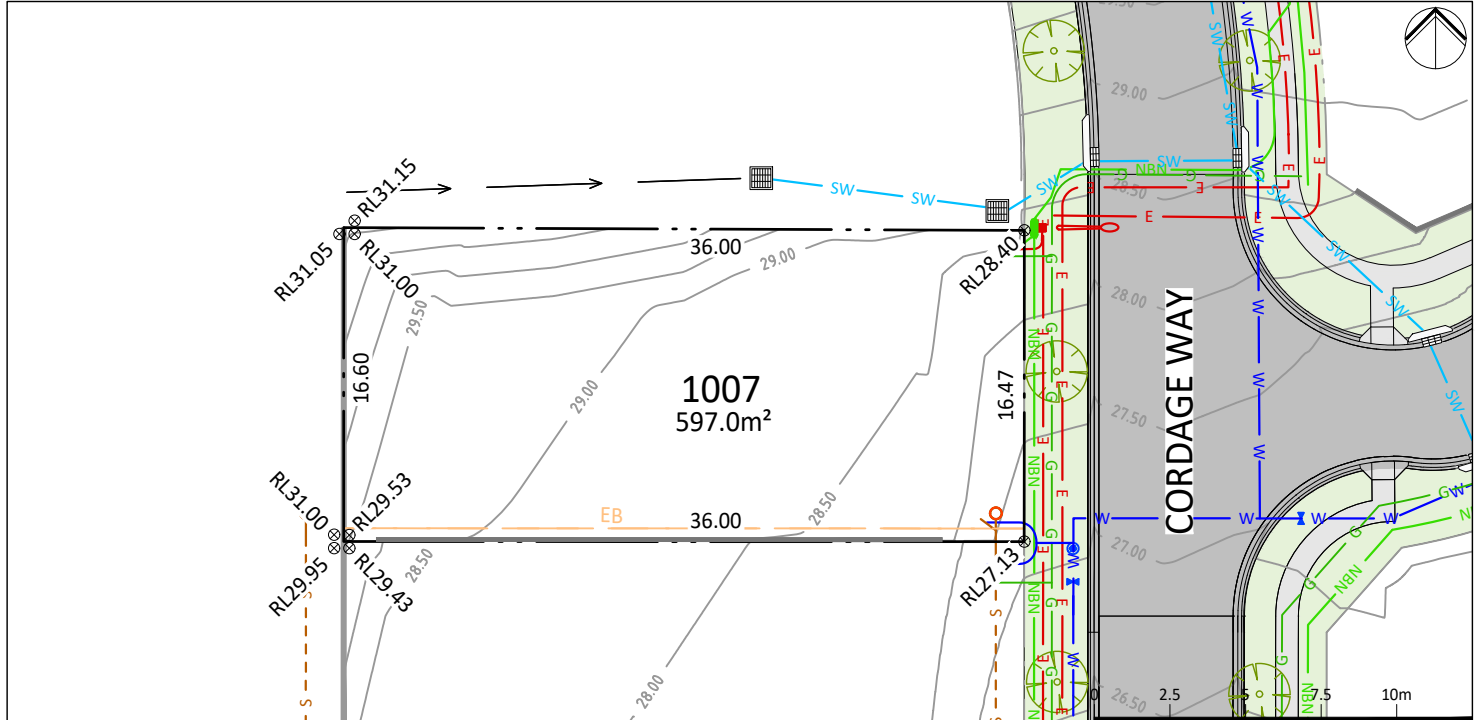
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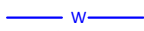












### STAGE PLAN



### PRELIMINARY SITE ANALYSIS PLAN



#### LEGEND:

	RETAINING WALL
	STORMWATER PIT
	STORMWATER PIPE
	DRAINAGE SWALE
	SEWER MAIN
	SEWER MAINTENANCE STRUCTURE
	SEWER JUNCTION
	WATERMAIN
	HYDRANT / STOP VALVE
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## LOT 1008, CORDAGE WAY, BILLY'S LOOKOUT

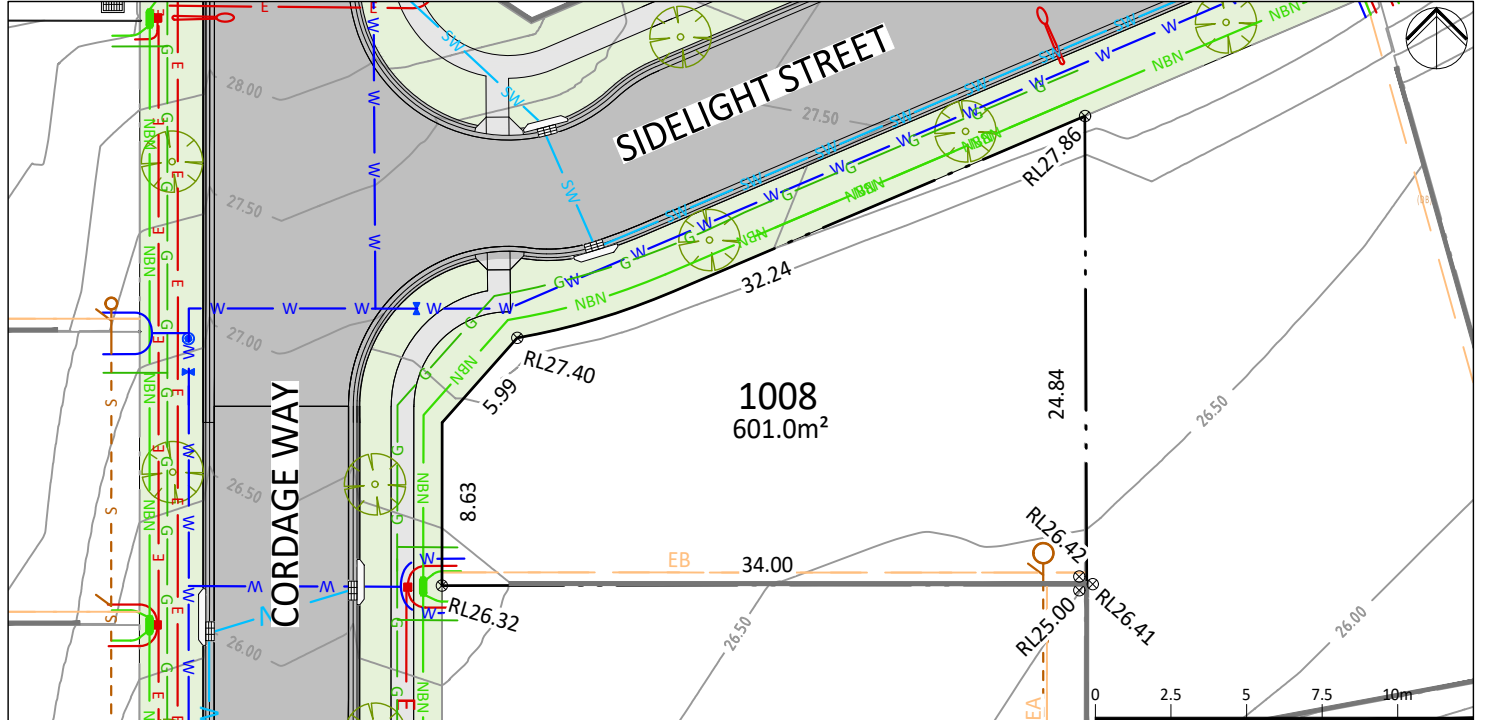
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### STAGE PLAN



### PRELIMINARY SITE ANALYSIS PLAN



### LEGEND:

	RETAINING WALL
	STORMWATER PIT
	STORMWATER PIPE
	DRAINAGE SWALE
	SEWER MAIN
	SEWER MAINTENANCE STRUCTURE
	SEWER JUNCTION
	WATERMAIN
	HYDRANT / STOP VALVE
	TELSTRA / NBN
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## LOT 1009, CORDAGE WAY, BILLY'S LOOKOUT

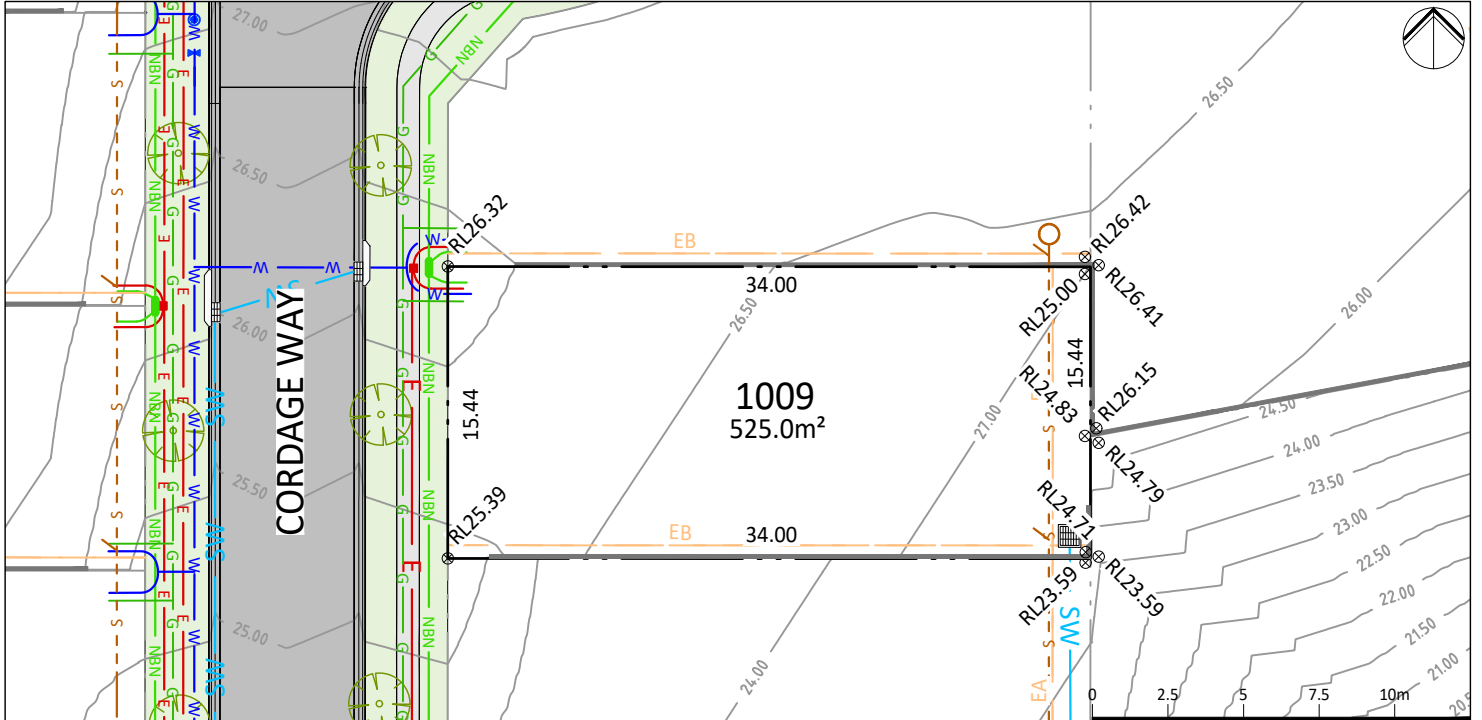
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STAGE PLAN



PRELIMINARY SITE ANALYSIS PLAN



**LEGEND:**

	RETAINING WALL
	STORMWATER PIT
	STORMWATER PIPE
	DRAINAGE SWALE
	SEWER MAIN
	SEWER MAINTENANCE STRUCTURE
	SEWER JUNCTION
	WATERMAIN
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## LOT 1010, CORDAGE WAY, BILLY'S LOOKOUT

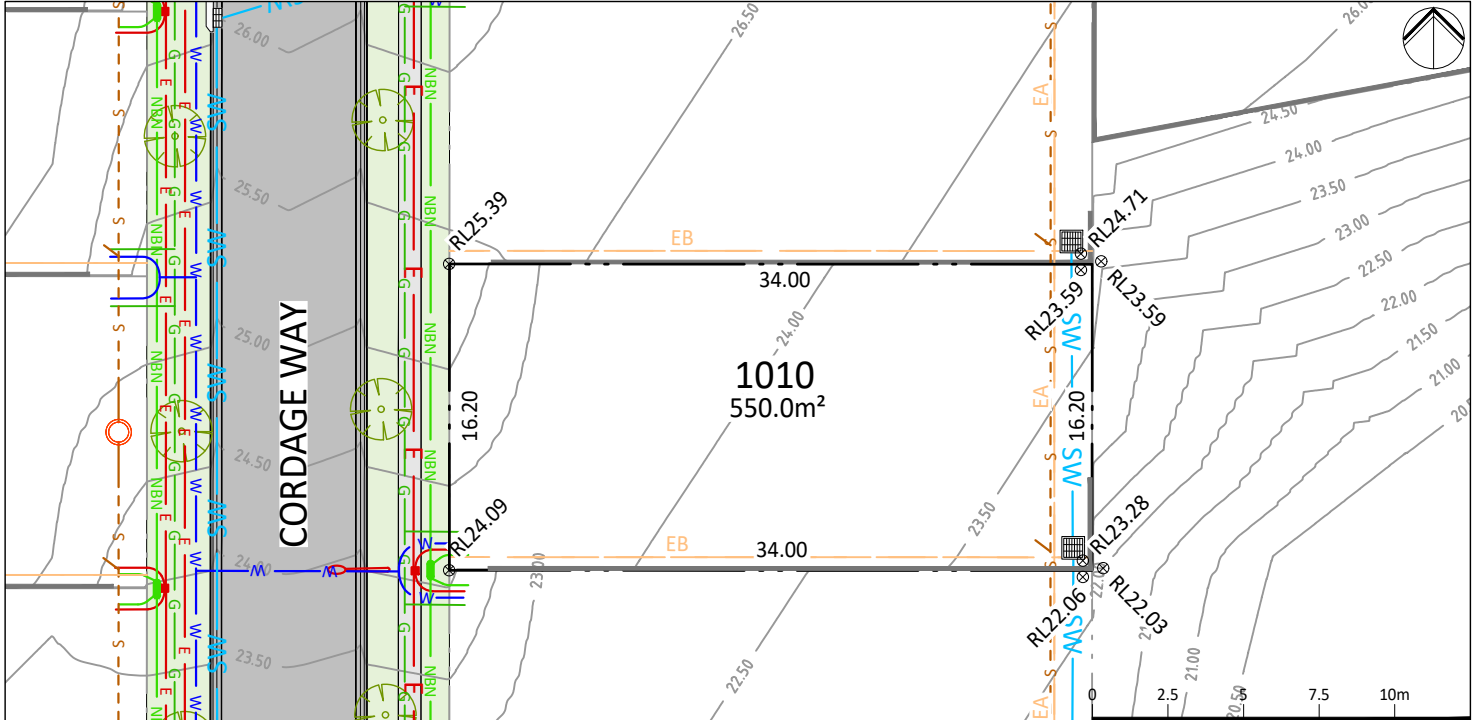
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### LEGEND:

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	STORMWATER PIPE
	DRAINAGE SWALE
	SEWER MAIN
	SEWER MAINTENANCE STRUCTURE
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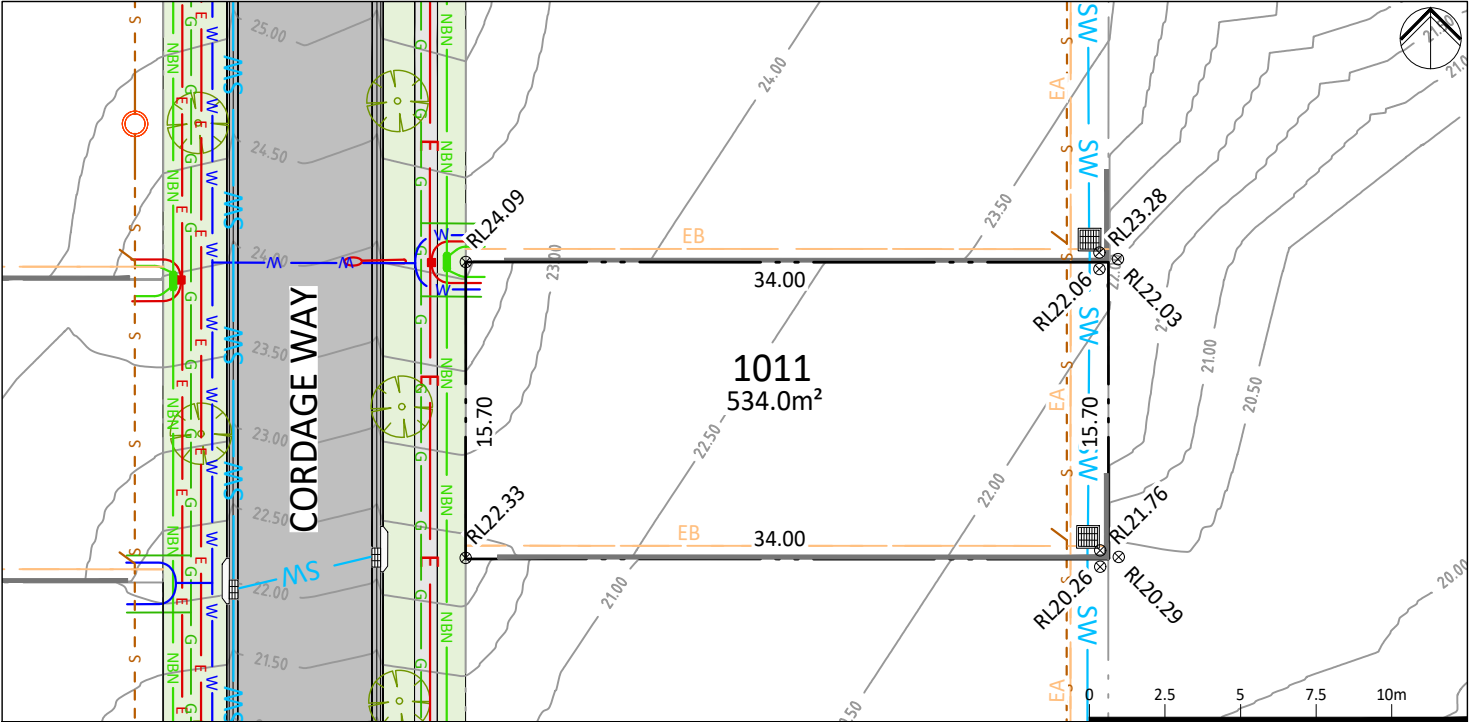
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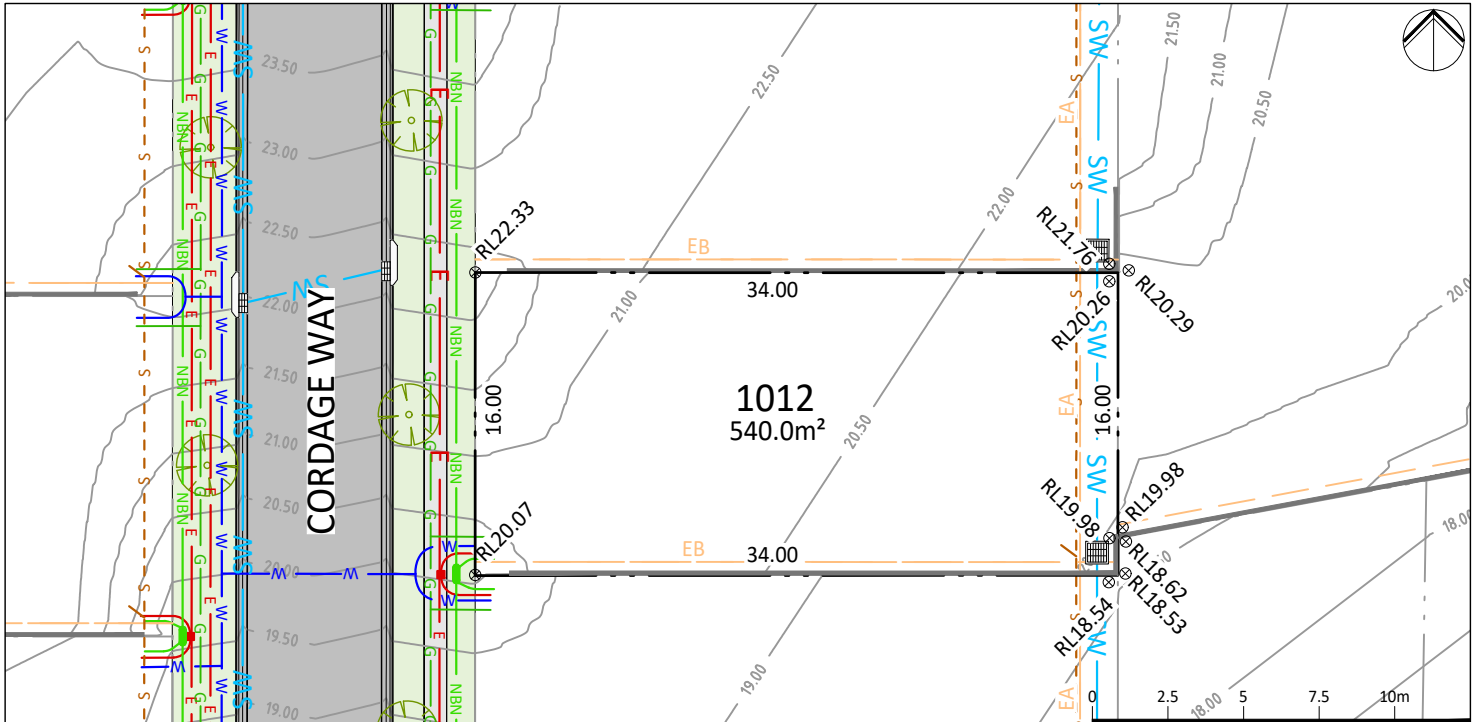
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 (EC) - EASEMENT FOR SIGNAGE 3 WIDE

REVISION: STAGE 10 MARKETING  
 DATE: 19 APRIL 2024  
 BY: NORTHPRO CONSULTING ENGINEERS



**BILLY'S  
LOOKOUT**

EST. 2015

LAKE MACQUARIE

## LOT 1013, CORDAGE WAY, BILLY'S LOOKOUT

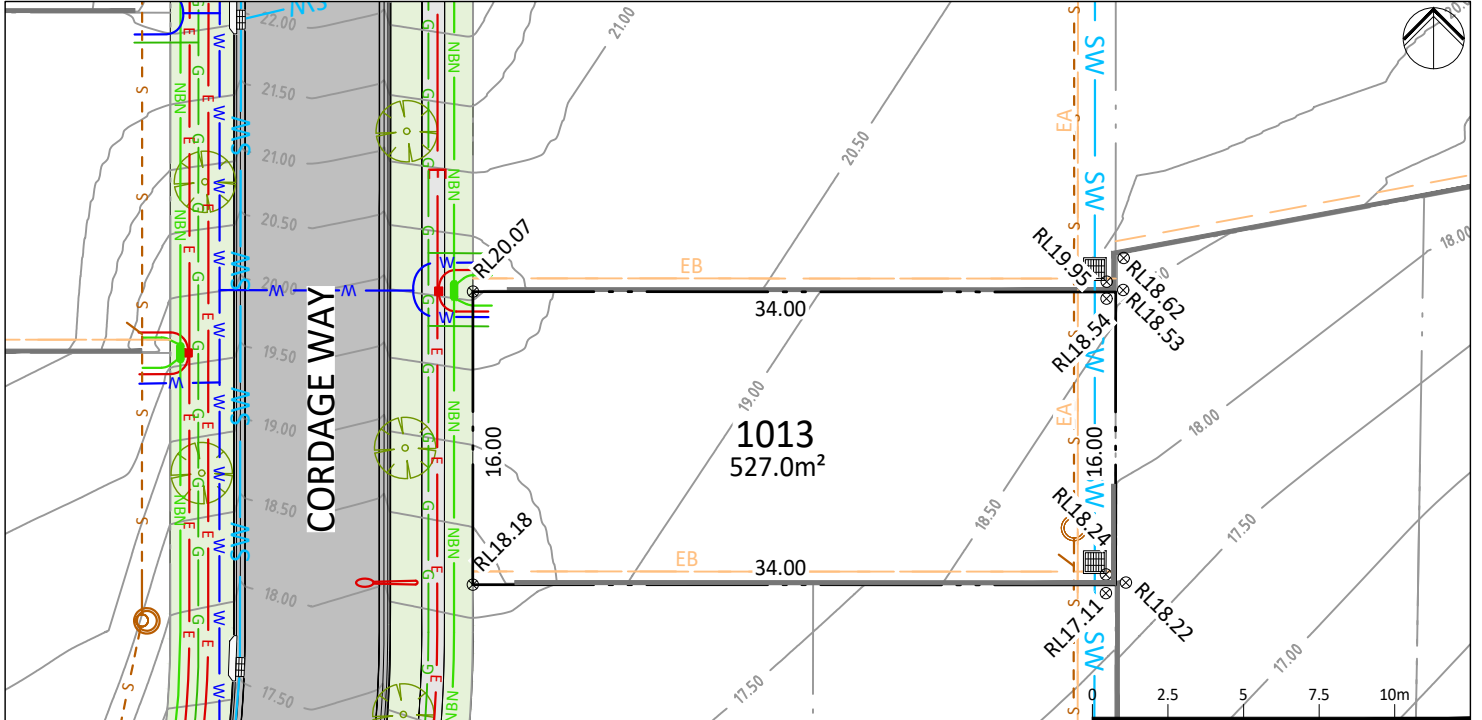
### MASTER PLAN



### STAGE PLAN



### PRELIMINARY SITE ANALYSIS PLAN



### LEGEND:

	RETAINING WALL
	STORMWATER PIT
	STORMWATER PIPE
	DRAINAGE SWALE
	SEWER MAIN
	SEWER MAINTENANCE STRUCTURE
	SEWER JUNCTION
	WATERMAIN
	HYDRANT / STOP VALVE
	TELSTRA / NBN
	TELSTRA / NBN PIT
	UNDERGROUND POWER
	ELECTRICITY PILLAR
	LIGHT POLE
	EASEMENT
	STREET TREES
	CONTOURS
	GAS LINE

### DISCLAIMER / NOTES:

- Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be considered as final or as-built.
- Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and supply authority certification and therefore should not be considered as final or as-built.
- Survey information such as boundary dimensions and areas, easements etc are subject to final survey. Purchasers should refer to the deposited plan and 88B instrument contained in the contract for sale of land for further detailed information.
- Bushfire and geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports.
- This preliminary site analysis plan has been collated from various sources of design information and is provided for convenience to assist purchasers in obtaining quotation / tenders for dwelling construction.
- This document does not form part of the contract of sale of the land.
- Anticipated site classification is M - H2 or better (to be confirmed at completion of construction).
- Refer to sales plan and draft contract for information regarding easements and restrictions.
- Refer to build envelope plans for further details.

(EA) - EASEMENT TO DRAIN WATER 2 WIDE  
 (EB) - RESTRICTION ON THE USE OF LAND 0.7 WIDE  
 (EC) - EASEMENT FOR SIGNAGE 3 WIDE

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## LOT 1014, CORDAGE WAY, BILLY'S LOOKOUT

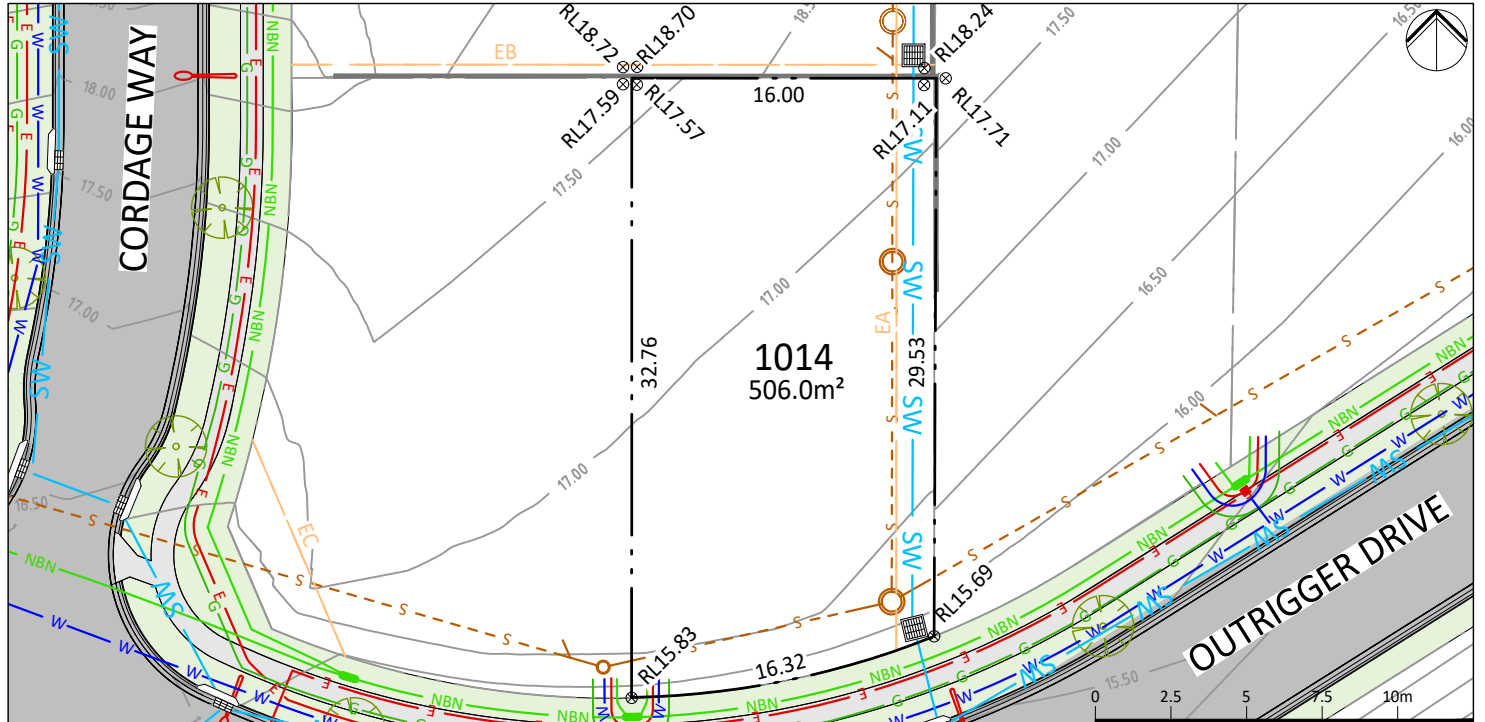
### MASTER PLAN



### STAGE PLAN



### PRELIMINARY SITE ANALYSIS PLAN



### LEGEND:

	RETAINING WALL
	STORMWATER PIT
	STORMWATER PIPE
	DRAINAGE SWALE
	SEWER MAIN
	SEWER MAINTENANCE STRUCTURE
	SEWER JUNCTION
	WATERMAIN
	HYDRANT / STOP VALVE
	TELSTRA / NBN
	TELSTRA / NBN PIT
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(EA) - EASEMENT TO DRAIN WATER 2 WIDE  
 (EB) - RESTRICTION ON THE USE OF LAND 0.7 WIDE  
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## LOT 1015, CORDAGE WAY, BILLY'S LOOKOUT

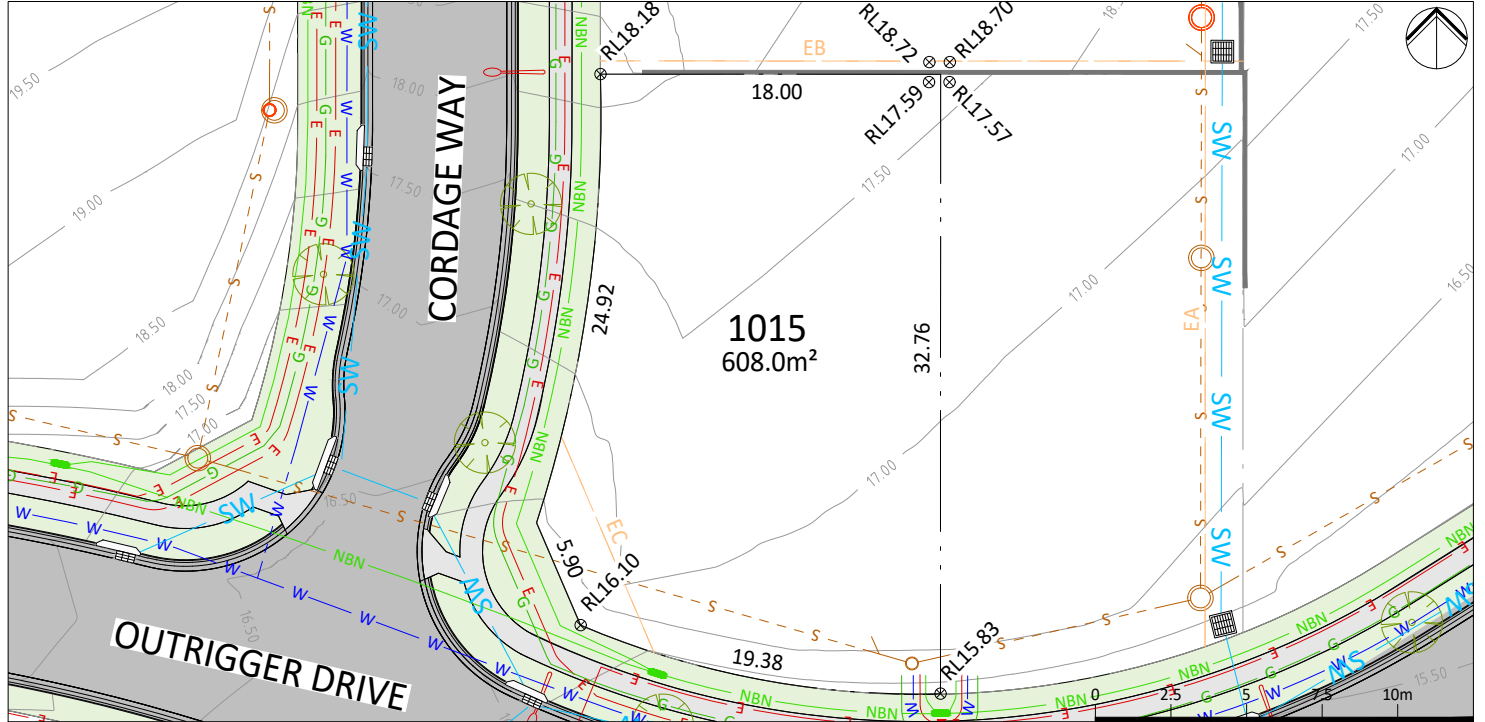
### MASTER PLAN



### STAGE PLAN



### PRELIMINARY SITE ANALYSIS PLAN



### LEGEND:

	RETAINING WALL
	STORMWATER PIT
	STORMWATER PIPE
	DRAINAGE SWALE
	SEWER MAIN
	SEWER MAINTENANCE STRUCTURE
	SEWER JUNCTION
	WATERMAIN
	HYDRANT / STOP VALVE
	TELSTRA / NBN
	TELSTRA / NBN PIT
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## LOT 1016, CORDAGE WAY, BILLY'S LOOKOUT

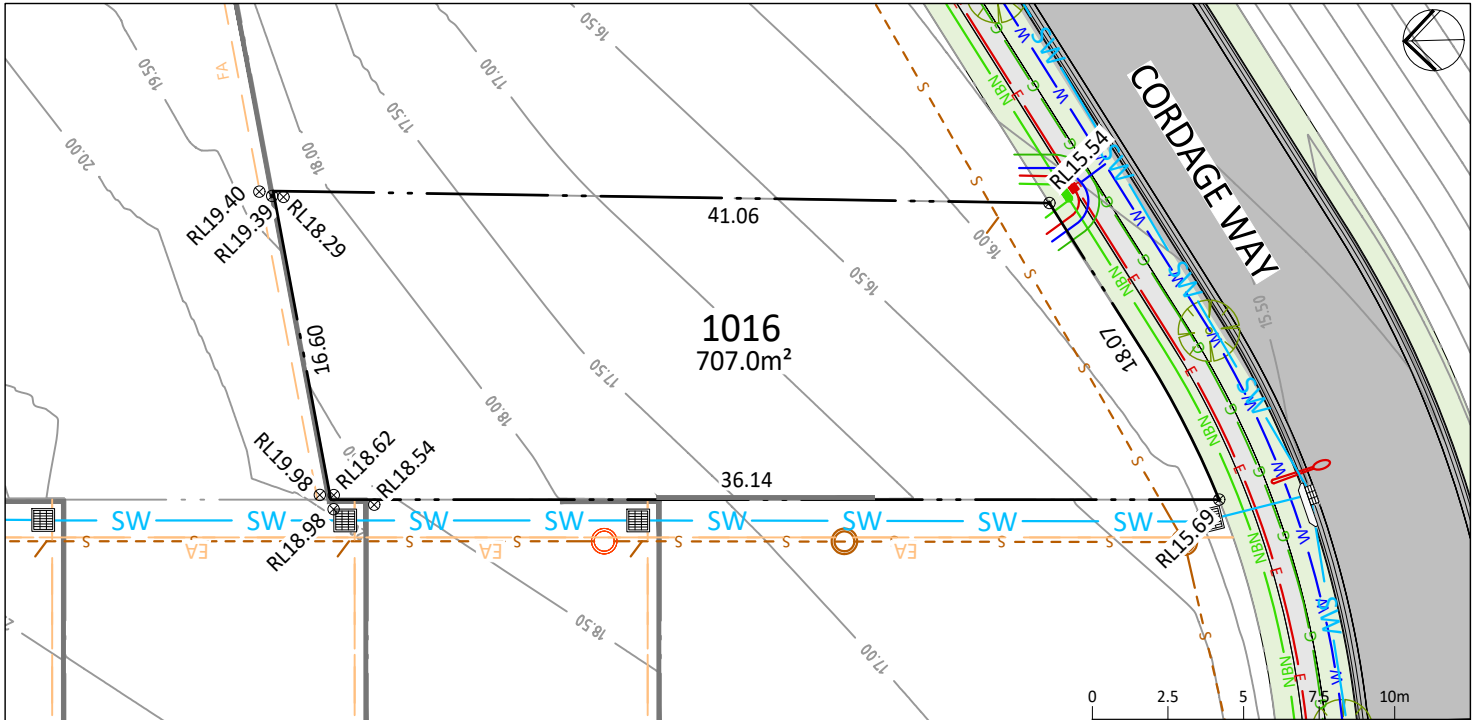
### MASTER PLAN



### STAGE PLAN



### PRELIMINARY SITE ANALYSIS PLAN



### LEGEND:

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	STORMWATER PIT
	STORMWATER PIPE
	DRAINAGE SWALE
	SEWER MAIN
	SEWER MAINTENANCE STRUCTURE
	SEWER JUNCTION
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